

KORECKI

REAL ESTATE SERVICES INC.

MEMORANDUM


TO: Owners, NWS3355 – The Metropolitan
FROM: Korecki Real Estate Services
DATE: Monday, August 25, 2025
RE: AGM Minutes – August 5, 2025

Dear Residents,

Please find attached the Council-drafted minutes from the AGM Meeting held on Tuesday, August 5, 2025, without Korecki Real Estates' assigned PM presence.

Thank you.

Office Use Only

Prepared By: 

Issued By:

605 - 1166 ALBERNI ST, VANCOUVER B.C. V6E 3Z3

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WWW.KORECKI.CA

The Metropolitan Strata NWS3355

Annual General Meeting Minutes

Date: August 5, 2025

Time: 6:00 PM

Location: The Metropolitan lobby

1. Call to Order

The meeting was called to order at 6:20 p.m. with 47 owners and 23 proxies present, confirming a quorum. Basil (PH2) was nominated as chair, with a motion moved by Graeme (201) and seconded by George (PH3). The motion passed by a show of hands and Basil was elected chair.

2. Proof of Notice

Proof of the Notice of Meeting was passed, and the agenda was approved as circulated.

3. Approval of Minutes

A motion to approve the minutes from the 2024 Annual General Meeting was moved by Graeme (201) and seconded by Paul (1504). The motion passed by a show of hands.

4. Reports

- **President's Report:** Zoran read the President's Report. A question was raised from the floor regarding the annual spring cleaning. Zoran replied that the event would be scheduled once the roof project is complete, which is expected before the end of the month.
- **Insurance Report:** The insurance report was included with the AGM information distributed to all owners.
- **Financial Statement and 2025/2026 Budget:** The proposed budget for 2025/2026 was presented, and the following was noted:
 - An error was found in line 8010-1000 for Gas, where the proposed amount of \$7,000 should have been \$70,000.
 - A question was raised about the management fee of \$40,568 and the administration fee of \$1,500.
 - A question was raised about the increase in the Repairs & Maintenance budget (line 8240-1000) from \$117,707 in 2024/2025 to \$156,712 for 2025/2026.
 - After a discussion on how to proceed with the budget given the \$63,000 error, a motion to approve the budget was moved by Naftali (705) and seconded by Graeme (201). The motion was denied by a show of hands.

- **Special General Meeting:** A motion to hold a Special General Meeting within 90 days to vote on an amended budget was moved by Jonathon (901) and seconded by Ian (1006). The motion passed unanimously.

5. Resolutions

No resolutions were offered.

6. New Business

- A discussion took place regarding producing and distributing minutes of all formal and strata council meetings to owners to ensure more transparency. The recommendation was made that the strata council and strata manager should hold five council meetings plus the AGM, and that minutes for all these meetings must be distributed to owners.
- A request was made to remove the screen from the second parkade garage door to allow birds that may be trapped inside to escape.
- Owners of units 905 and 604 requested updates on their renovation requests. It was noted that the management company's website is the portal for these requests. The management company targets a one-week turnaround for decisions, and the strata council should aim for the same.

7. Election of Strata Council

The votes for the 2025/2026 strata council election were tallied as follows:

- Basil: 62 votes
- Rita: 52 votes
- Graeme: 43 votes
- Tilly: 39 votes
- Zoran: 38 votes
- Stella: 38 votes
- Gretchen: 35 votes
- Paul: 35 votes (withdrew name from nomination)
- Philip: 32 votes
- Jodie: 27 votes

The declared council members are Basil, Rita, Graeme, Tilly, Zoran, Stella, and Gretchen who are the top seven vote getters..

8. Adjournment

The meeting ended at 8:30 p.m. without a vote to adjourn as most owners left the meeting after casting their vote and before the votes were tallied.



IMPORTANT INFORMATION Please have this translated

重要資料 請找人為你翻譯

RENSEIGNEMENTS IMPORTANTS Prière de les faire traduire

これはたいせつなお知らせです。どなたかに日本語に訳してもらってください。

INFORMACIÓN IMPORTANTE Busque alguien que le traduzca

알려드립니다 이것을 번역해 주십시오

CHỈ DẪN QUAN TRỌNG Xin nhờ người dịch hộ

ਜ਼ਰੂਰੀ ਜਾਣਕਾਰੀ ਕਿਰਪਾ ਕਰਕੇ ਕਿਸੇ ਕੋਲੋਂ ਇਸ ਦਾ ਉਲੰਘਾ ਕਰਵਾਓ

MEMORANDUM

TO: The Owners, Strata Plan NW3355

DATE: March 05, 2025

FROM: Peter Chan, Senior Strata Operations

RE: SPECIAL GENERAL MEETING MINUTES

Attached are the minutes of the Special General Meeting held on February 27, 2025. Please read and retain them for future reference.

**MINUTES
ANNUAL GENERAL MEETING
THE OWNERS STRATA PLAN NW3355
THE METROPOLITAN**

***Held on Thursday, February 27, 2025
Within Lobby of The Metropolitan
5885 Olive Avenue, Burnaby, BC***

Following registration that started at 6:30 p.m., certification of proxies and issuance of voting was completed.

QUORUM STATUS REPORT

Subject to the Bylaws, a quorum for a general meeting is eligible voters holding 1/3 of the Strata Corporation's votes, present in person or by proxy. As the Strata Corporation currently consists of 132 eligible votes, 44 eligible votes represent quorum in this instance. At the commencement of the meeting, there were 37 eligible votes represented in person and 46 represented by proxy, for a total of 83 votes represented.

The quorum requirements had been achieved and the meeting proceeded.

CALL TO ORDER

The meeting was called to order at 7:00 p.m. by Zoran Milicevic, President who acted as Chairperson in accordance with the Strata Plan Bylaws

PROOF OF NOTICE

It was noted that the Notice of Meeting, dated February 7, 2025, complied with the notice requirements of the *Strata Property Act* and that the most recently approved financial statements had been received.

APPROVAL OF AGENDA

It was moved and seconded to approve the agenda as distributed with the Notice of Meeting.

83 IN FAVOUR, 0 OPPOSED, 0 ABSTAINED. **CARRIED.**

**CONSIDERATION OF 3/4 VOTE RESOLUTION
TERMINATION OF STRATA MANAGEMENT AGENCY AGREEMENT**

It was moved and seconded to bring the proposed resolution to the floor for discussion. Resolution reads as follows:

WHEREAS The Owners, Strata Plan NW3355, wish to terminate the current Agency Agreement for Strata Management Service with FirstService Residential by giving the Agent two (2) months' notice, as per the provisions set in the Agency Agreement, section 14 and the *Strata Property Act* section 39;

AND WHEREAS the Strata Council requires Owners' authorization to terminate the Agency Agreement,

BE IT RESOLVED by a 3/4 Vote Resolution of The Owners, Strata Plan NW3355, in person or by proxy at this Special General Meeting that the Owners of Strata Plan NW3355 authorize the Strata Council to terminate the Strata Management Agency Agreement with FirstService Residential by giving two (2) months' notice, as per section 14 of the Agency Agreement and *Strata Property Act* section 39.

END OF RESOLUTION

After some discussion, the vote was called. The results were as follows:

73 IN FAVOUR, 8 OPPOSED, 1 ABSTAINED 1 SPOILED **CARRIED.**

POST MEETING NOTE: Owners are advised that during discussion portion of the meeting there was inappropriate conduct with abusive language and behaviour which is not condoned by the Council or the community. All owners have the right to their opinion in a respectful manner. In future, there will be greater adherence to rules of the meeting established and approved by the Owners.

BALLOT DISCARD

It was moved and seconded to destroy the ballot cards. The vote was taken, and the results as follows:

83 IN FAVOUR, 0 OPPOSED, 0 ABSTAINED. **CARRIED**

TERMINATION OF MEETING

There being no further business, it was moved to terminate the meeting at 8:07 p.m. **CARRIED.**

FirstService Residential BC Ltd.

Peter Chan
Senior Strata Operations
Per the Owners
Strata Plan NW3355

PC/cw

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Please keep a copy of these minutes for future reference, which will be required at the time of sale. A charge, as per the *Strata Property Act*, will be assessed for replacement copies.



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MEMORANDUM

TO: The Owners, Strata Plan NW3355

DATE: July 31, 2024

FROM: Deb Lanzo, Strata Manager

RE: ANNUAL GENERAL MEETING MINUTES

Attached are the minutes of the Annual General Meeting held on Thursday, July 4, 2024. Please read and retain them for future reference.

STRATA FEES:

Please be advised that strata fees have changed. The retroactive catch up/down fee and the new strata fees per the attached fee schedule.

Please review payment options.

**MINUTES
ANNUAL GENERAL MEETING
THE OWNERS STRATA PLAN NW3355
THE METROPOLITAN**

***Held on Thursday, July 4, 2024
Within the Lobby
5885 Olive Avenue, Burnaby, BC***

Following registration that started at 6:30 p.m., certification of proxies and issuance of voting was completed.

QUORUM STATUS REPORT

Subject to the Bylaws, a quorum for a general meeting is eligible voters holding 1/3 of the Strata Corporation's votes, present in person or by proxy. As the Strata Corporation currently consists of 132 eligible votes, 44 eligible votes represent quorum in this instance. At the commencement of the meeting, there were 40 eligible votes represented in person and 26 represented by proxy, for a total of 66 votes represented.

The quorum requirements had been achieved and the meeting proceeded.

CALL TO ORDER

The meeting was called to order at 7:08 p.m. by Zoran Milicevic, Council President who acted as Chairperson in accordance with the Strata Plan Bylaws

FirstService Residential BC Ltd. was represented by Deb Lanzo who assisted with facilitating the Meeting.

PROOF OF NOTICE

It was noted that the Notice of Meeting, dated June 13, 2024 complied with the notice requirements of the *Strata Property Act* and that the most recently approved financial statements had been received.

APPROVAL OF AGENDA

It was moved and seconded to approve the agenda as distributed with the Notice of Meeting.

66 IN FAVOUR, 0 OPPOSED, 0 ABSTAINED. **CARRIED.**

APPROVAL OF GENERAL MEETING MINUTES

It was moved and seconded to approve the Minutes of the General Meeting held July 11, 2023, as previously circulated.

66 IN FAVOUR, 0 OPPOSED, 0 ABSTAINED. **CARRIED.**

PRESIDENT REPORT

Provided in the Annual General Meeting Notice.

CONSIDERATION OF MAJORITY VOTE RESOLUTION “A” RATIFICATION OF RULES

It was moved and seconded to bring the proposed resolution to the floor for discussion. The Majority Vote Resolution – Ratification of Rules reads as follows:

BICYCLES

Bicycles are not allowed in the lobby or elevator. They must be stored in the bike room.

SECURITY

All trades persons including food delivery drivers must be met at the front entrance and escorted within the building by the resident using their services. All packages must be left by the mailboxes.

After some discussion, the vote was called. The results were as follows:

28 IN FAVOUR, 27 OPPOSED, 8 ABSTAINED. **CARRIED.**

REPORT ON INSURANCE

This important report on insurance was discussed in detail with owners and strata council. The strata manager on behalf of the chairperson took the opportunity to advise those in attendance of the following information regarding strata lot ownership and other matters concerning the Strata Corporation, including the strata's annual insurance renewal.

Strata Corporation Insurance and Coverages

The Strata Corporation's policy is designed to cover loss arising from fortuitous causes, subject to exclusions stated in the policy wordings, and the applicable deductible in the event of a claim. Please refer to the Insurance Summary included with your Notice of Meeting which outlines the Strata's insurance coverage's, applicable limits and deductibles.

Section 149 of the *Strata Property Act* requires the Strata Corporation to obtain and maintain property insurance on common property, common assets, buildings shown on the Strata Plan and fixtures built or installed by the owner developer as part of the original construction on the strata lot. The property insurance must be on the basis of full replacement value and insure against all **major perils**, such as fire and water escape, as set out in the regulations of the Act, as well as any other perils specified in the bylaws. Your Strata Corporation's insurance policy is currently held with BFL Canada and is insured for a replacement value of \$76,000,000.00 based on information contained in the insurance appraisal performed by Normac.

Section 150 of the *Strata Property Act* requires the Strata Corporation to also obtain and maintain liability insurance to insure the strata corporation against liability for property damage and bodily injury.

Although optional under Section 151 of the *Strata Property Act*, all Strata Corporations managed by FirstService Residential BC Ltd. have errors and omissions insurance for council members against their liability and expenses for errors and omissions made in the exercise of their powers and performance of their duties as council members.

Please note the Strata Corporation's policy does NOT provide coverage for loss or damage to:

- Strata lot Owner's betterments and/or improvements to the strata lot
- Strata lot Owner's and/or Tenant's personal property
- Strata lot Owner's rental income loss (if applicable)

Note: While most strata insurance policies include additional living expense coverage, this coverage is designed to help with unit owner's costs when they are displaced after a claim. The strata's coverage is secondary and will be drawn upon after the unit owner's coverage is exhausted.

CONSIDERATION OF MAJORITY VOTE RESOLUTION "B" BUDGET

Owners were referred to the proposed 2024-2025 operating budget, the schedule of strata fees and the accompanying notes explaining how the figures were prepared.

It was moved and seconded to bring the proposed operating budget(s) to the floor for discussion.

After some discussion, the vote was called. The results were as follows:

66 IN FAVOUR, 0 OPPOSED, 0 ABSTAINED. **CARRIED.**

IMPORTANT FEE CHANGE

Please be advised that the strata fees have changed. The retroactive catch up/down fee and the new strata fee is per the attached fee schedule. The changed fees will commence September 1, 2024. If you are using ClickPay (automatic withdrawal), no action is required.

PAYMENT OPTIONS:

1. **Electronic Payment Portal (ClickPay):** Pay fees online through our partner, ClickPay. To register, simply go to our "make a payment" page on our website (<https://www.fsresidential.com/british-columbia/>) or on your Connect™ community homepage.



2. **Owners Who Pay By Online Banking:** Owners will have to re-submit the strata fee amount for future months, as well as any catch up payment if necessary, as per the attached fee schedule. Ensure to select "FirstService Residential BC (Strata)" when remitting payment.

NOTE: You will need your account number when submitting a payment via online banking. Your account number can be found in your Connect™ community portal account page.

3. **Owners Who Pay By Post-Dated Cheques:** Please send in 12 post-dated cheques payable to Strata Plan NW3355, as well as any retroactive payment if necessary, as per the attached fee schedule. Please include your strata plan and unit number on the subject line.

If you have any questions regarding your account, please contact the Accounts Receivable Department at ar.bc@fsresidential.com.

CONSIDERATION OF 3/4 VOTE RESOLUTION "C" DEPRECIATION REPORT - UPDATE

It was moved and seconded to bring the proposed resolution to the floor for discussion. Resolution "C" reads as follows:

PREAMBLE: Effective July 1, 2024, the Province has strengthened requirements for Strata Corporation depreciation reports. Strata Corporations may no longer hold an annual 3/4 vote to defer getting a depreciation report.

WHEREAS The Owners, Strata Plan NW3355, wish to obtain Depreciation Report update as required under Section 94 of the *Strata Property Act [SBC 1998]*;

BE IT RESOLVED by a Majority Vote Resolution of The Owners, Strata Plan NW3355, in person or by proxy at this General Meeting, that a sum of money not exceeding \$15,000.00 be spent for the purpose of obtaining a Depreciation Report update, such expenditure to be charged against the Contingency Reserve Fund.

After some discussion, the vote was called. The results were as follows:

66 IN FAVOUR, 0 OPPOSED, 0 ABSTAINED. **CARRIED.**

CONSIDERATION OF MAJORITY VOTE RESOLUTION "D" CANCELLATION OF THE WINDOW TRIAL PROJECT

It was moved and seconded to bring the proposed resolution to the floor for discussion. Resolution "D" reads as follows:

PREAMBLE: Earlier this year, the Strata Council agreed to postpone implementation of the Windows Trial Project for a number of months so that Council could investigate alternative solutions for the window repairs in The Metropolitan.

Recently, some members of Council asked a general contractor, Tony Roja, Inc., and his engineers Mr. Rakesh Khanna and Mr. Sear S. Rowatt, to do a walkthrough & review of a few of the units designated for the window trial. Based on the verbal recommendations of these engineers, some members of Council believe it is unnecessary to proceed with the Windows Trial Project. Instead, they have suggested that there may be alternative ways of moving forward with the repairs of the windows at The Metropolitan.

However, Council Strata Council has not had the opportunity to review or fully discuss within any formal Council meetings the recommendations by the above-mentioned engineers. In addition, in the absence of a written report from these engineers, other members of Council continue to believe that the original recommendations put forward by Sense Engineering, in their document, *Building Enclosure Evaluation for The Metropolitan*, dated July 22, 2021, are valid, and that the Windows Trial Project is the appropriate way to begin to address the problem of the windows at The Metropolitan.

For the above reasons, Strata Council is recommending that the Windows Trial Project be suspended until Council has had the opportunity to fully review alternatives to the Windows Trial Project. Council is recommending that, in the interim, the funds approved for the Windows Trial Project be returned to the Contingency Reserve Fund and that, after a thorough review of other alternatives to fixing the windows at The Metropolitan, that Strata Council then recommend to the Owners (at a Special General Meeting or at the next Annual General Meeting) which of the alternatives Council believes that the Owners should follow, in response to the windows problems at The Metropolitan.

WHEREAS The Owners, Strata Plan NW3355, wish to repeal the Windows Trial Project approved at the July 11, 2023 AGM;

AND WHEREAS A Contingency Reserve Fund expenditure for the Windows Trial Project was approved by a majority vote at the July 11, 2023, Annual General Meeting;

BE IT RESOLVED by a Majority Vote Resolution of The Owners, Strata Plan NW3355, in person or by proxy at this General Meeting that the Strata repeal the Windows Trial Project and return to the Contingency Reserve Fund the funds that have been allocated to the Windows Trial Project, which are being held in the Window Trial reserve account.

After some discussion, the vote was called. The results were as follows:

37 IN FAVOUR, 22 OPPOSED, 1 ABSTAINED. **CARRIED.**

ELECTION OF COUNCIL:

The Strata Manager on behalf of the Chairperson advised that under the Bylaws of the Strata Corporation the Council must consist of a minimum of 3 to a maximum of 7 members. Those persons elected to the Council at this meeting will hold office until the next Annual General Meeting.

The following persons agreed to stand for Council with thanks and appreciation from all Owners:

- Zoran Milicevic
- Stela Maksimovic
- Terra-Paul Siddoo
- Mabel Tam
- Graeme Smith
- John Mather
- Jayesh Patel
- Philip Wong
- Rita Pang
- Basil Skodyn

In order to be elected onto Council, each nominee must obtain at least a majority vote of Owners.

The voting to elect your new Strata Council then took place. The following Owners will make up your 2024/2025 Strata Council as declared elected by achieving a majority vote:

- Zoran Milicevic
- Stela Maksimovic
- Terra-Paul Siddoo
- Jayesh Patel
- Philip Wong
- Rita Pang
- Basil Skodyn

TERMINATION OF MEETING

There being no further business, it was moved to terminate the meeting at 10:38 p.m. **CARRIED.**

FirstService Residential BC Ltd.

Deb Lanzo
Senior Strata Manager
Per the Owners
Strata Plan NW3355

DL/an

Email: info.bc@fsresidential.com

Customer Care Centre: 1.855.273.1967 (24 hours non-emergency)
604.683.8900 (24/7 emergencies)

www.fsresidential.com

<https://fsresidentialbcsupport.zendesk.com>



Please keep a copy of these minutes for future reference, which will be required at the time of sale. A charge, as per the *Strata Property Act*, will be assessed for replacement copies.

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Sign up for the Resident Portal today to get access to the latest essential documents and information for your community. To register please visit here: <https://portal.connectresident.com/#/registration> and click on the 'Create Account' button. Having trouble? For assistance call our Care Center which is open 24/7 365 days a year with translation services available in 31 different languages. The Care Centre team can be reached at 1.855.273.1967

V3355 NW3355 - The Metropolitan
Approved Annual Budget
May 01, 2024 to Apr 30, 2025

<u>Account</u>	<u>Description</u>	<u>Approved</u> <u>2024/2025</u> <u>Budget</u> <u>\$</u>
OPERATING FUND		
ASSESSMENTS		
40000	Operating Fund Contribution	654,303
40030	Contingency Fund Contribution	171,000
TOTAL ASSESSMENTS		825,303
OTHER REVENUE		
44130	Interest Income	4,200
44670	Parking Income	6,000
44745	Storage Income	300
44955	Rent - Strata Suite	8,400
TOTAL OTHER REVENUE		18,900
TOTAL REVENUE		844,203
EXPENSES		
INSURANCE & TAXES		
53000	Insurance	211,196
TOTAL INSURANCE & TAXES		211,196
PROFESSIONAL FEES		
55065	Accounting / Audit / Tax Filing	315
55235	Legal Fees	500
55570	Management Fees	39,008
TOTAL PROFESSIONAL FEES		39,823
SALARIES & BENEFITS		
57000	Caretaker Wages & Benefits	63,284

V3355 NW3355 - The Metropolitan
Approved Annual Budget
May 01, 2024 to Apr 30, 2025

<u>Account</u>	<u>Description</u>	<u>Approved</u> <u>2024/2025</u> <u>Budget</u> <u>\$</u>
TOTAL SALARIES & BENEFITS		63,284
UTILITIES		
59000	Electricity	45,000
59300	Gas	70,000
59660	Telephone, Cellular, Cable, Internet	3,400
59705	Garbage Removal	6,900
59800	Water Sewer	900
TOTAL UTILITIES		126,200
BUILDING & GROUNDS		
60005	Easement	2,000
63200	Building Services Miscellaneous	13,400
63450	Window Cleaning	10,000
TOTAL BUILDING & GROUNDS		25,400
MAINTENANCE & REPAIRS		
64115	Repair Maintenance	100,000
64920	Grounds RM	36,400
65915	Elevator RM	33,300
66095	Mechanical RM	10,000
66530	Janitorial Services And Supplies	15,600
TOTAL MAINTENANCE & REPAIRS		195,300
SECURITY & MONITORING		
68530	Fire Equipment RM	5,000
TOTAL SECURITY & MONITORING		5,000
RECREATION CENTER		
73800	Recreation Facilities / Amenities / Gym	7,000

V3355 NW3355 - The Metropolitan
Approved Annual Budget
May 01, 2024 to Apr 30, 2025

<u>Account</u>	<u>Description</u>	<u>Approved 2024/2025 Budget</u> \$
TOTAL REC CENTER OPERATIONS		7,000
OTHER EXPENSES		
76000	Contingency	171,000
TOTAL OTHER EXPENSE		171,000
TOTAL OPERATING EXPENSES		844,203
NET OPERATING INCOME/(LOSS)		0
OPENING BALANCE		
30400	Operating Fund - Opening Balance	96,840
ENDING OPERATING FUND BALANCE		96,840

NW 3355 - Metroplitian
Approved Strata Fee Schedule
May 01, 2024 to Apr 30, 2025

Strata Lot Number	Civic Address	Unit Entitlement	Op. Fund Monthly Contribution \$	CRF Monthly Contribution \$	Total Monthly Strata Fees \$	OLD Monthly Strata Fees \$	Fee Adjustment May01-Sep30/24 \$
1	#101 - 5885 OLIVE AVE	1091	412.22	107.73	519.95	509.69	41.04
2	#102 - 5885 OLIVE AVE	1051	397.10	103.78	500.88	491.01	39.48
3	#103 - 5885 OLIVE AVE	1011	381.99	99.83	481.82	472.32	38.00
4	#201 - 5885 OLIVE AVE	1097	414.48	108.32	522.80	512.50	41.20
5	#202 - 5885 OLIVE AVE	1097	414.48	108.32	522.80	512.50	41.20
6	#203 - 5885 OLIVE AVE	1142	431.48	112.77	544.25	533.52	42.92
7	#306 - 5885 OLIVE AVE	1098	414.86	108.42	523.28	512.96	41.28
8	#301 - 5885 OLIVE AVE	1101	415.99	108.72	524.71	514.37	41.36
9	#302 - 5885 OLIVE AVE	1140	430.73	112.57	543.30	532.59	42.84
10	#303 - 5885 OLIVE AVE	1076	406.55	106.25	512.80	502.69	40.44
11	#304 - 5885 OLIVE AVE	1076	406.55	106.25	512.80	502.69	40.44
12	#305 - 5885 OLIVE AVE	1000	377.83	98.75	476.58	467.18	37.60
13	#406 - 5885 OLIVE AVE	1098	414.86	108.42	523.28	512.96	41.28
14	#401 - 5885 OLIVE AVE	1097	414.48	108.32	522.80	512.50	41.20
15	#402 - 5885 OLIVE AVE	1142	431.48	112.77	544.25	533.52	42.92
16	#403 - 5885 OLIVE AVE	1074	405.79	106.05	511.84	501.75	40.36
17	#404 - 5885 OLIVE AVE	1076	406.55	106.25	512.80	502.69	40.44
18	#405 - 5885 OLIVE AVE	1000	377.83	98.75	476.58	467.18	37.60
19	#506 - 5885 OLIVE AVE	1098	414.86	108.42	523.28	512.96	41.28
20	#501 - 5885 OLIVE AVE	1099	415.24	108.52	523.76	513.43	41.32
21	#502 - 5885 OLIVE AVE	1142	431.48	112.77	544.25	533.52	42.92
22	#503 - 5885 OLIVE AVE	1076	406.55	106.25	512.80	502.69	40.44
23	#504 - 5885 OLIVE AVE	1075	406.17	106.15	512.32	502.22	40.40
24	#505 - 5885 OLIVE AVE	999	377.45	98.65	476.10	466.71	37.56
25	#606 - 5885 OLIVE AVE	1099	415.24	108.52	523.76	513.43	41.32
26	#601 - 5885 OLIVE AVE	1099	415.24	108.52	523.76	513.43	41.32
27	#602 - 5885 OLIVE AVE	1142	431.48	112.77	544.25	533.52	42.92
28	#603 - 5885 OLIVE AVE	1076	406.55	106.25	512.80	502.69	40.44
29	#604 - 5885 OLIVE AVE	1075	406.17	106.15	512.32	502.22	40.40
30	#605 - 5885 OLIVE AVE	1000	377.83	98.75	476.58	467.18	37.60
31	#706 - 5885 OLIVE AVE	1098	414.86	108.42	523.28	512.96	41.28
32	#701 - 5885 OLIVE AVE	1098	414.86	108.42	523.28	512.96	41.28
33	#702 - 5885 OLIVE AVE	1142	431.48	112.77	544.25	533.52	42.92
34	#703 - 5885 OLIVE AVE	1076	406.55	106.25	512.80	502.69	40.44
35	#704 - 5885 OLIVE AVE	1075	406.17	106.15	512.32	502.22	40.40
36	#705 - 5885 OLIVE AVE	999	377.45	98.65	476.10	466.71	37.56
37	#806 - 5885 OLIVE AVE	1096	414.11	108.22	522.33	512.03	41.20
38	#801 - 5885 OLIVE AVE	1096	414.11	108.22	522.33	512.03	41.20
39	#802 - 5885 OLIVE AVE	1146	433.00	113.16	546.16	535.39	43.08
40	#803 - 5885 OLIVE AVE	1074	405.79	106.05	511.84	501.75	40.36
41	#804 - 5885 OLIVE AVE	1073	405.42	105.95	511.37	501.29	40.32
42	#805 - 5885 OLIVE AVE	1003	378.97	99.04	478.01	468.58	37.72
43	#906 - 5885 OLIVE AVE	1096	414.11	108.22	522.33	512.03	41.20
44	#901 - 5885 OLIVE AVE	1096	414.11	108.22	522.33	512.03	41.20
45	#902 - 5885 OLIVE AVE	1146	433.00	113.16	546.16	535.39	43.08
46	#903 - 5885 OLIVE AVE	1074	405.79	106.05	511.84	501.75	40.36
47	#904 - 5885 OLIVE AVE	1073	405.42	105.95	511.37	501.29	40.32
48	#905 - 5885 OLIVE AVE	1003	378.97	99.04	478.01	468.58	37.72
49	#1006 - 5885 OLIVE AVE	1094	413.34	108.03	521.37	511.10	41.08
50	#1001 - 5885 OLIVE AVE	1094	413.34	108.03	521.37	511.10	41.08

*The retroactive fee adjustment is calculated as the difference between the new strata fees and old strata fees, multiplied by the number of months subsequent to the year end in which the old strata fees were assessed.

NW 3355 - Metroplitian
Approved Strata Fee Schedule
May 01, 2024 to Apr 30, 2025

Strata Lot Number	Civic Address	Unit Entitlement	Op. Fund Monthly Contribution \$	CRF Monthly Contribution \$	Total Monthly Strata Fees \$	OLD Monthly Strata Fees \$	Fee Adjustment May01-Sep30/24 \$
51	#1002 - 5885 OLIVE AVE	1150	434.50	113.56	548.06	537.26	43.20
52	#1003 - 5885 OLIVE AVE	1072	405.04	105.85	510.89	500.82	40.28
53	#1004 - 5885 OLIVE AVE	1072	405.04	105.85	510.89	500.82	40.28
54	#1005 - 5885 OLIVE AVE	1007	380.47	99.44	479.91	470.45	37.84
55	#1106 - 5885 OLIVE AVE	1094	413.34	108.03	521.37	511.10	41.08
56	#1101 - 5885 OLIVE AVE	1094	413.34	108.03	521.37	511.10	41.08
57	#1102 - 5885 OLIVE AVE	1150	434.50	113.56	548.06	537.26	43.20
58	#1103 - 5885 OLIVE AVE	1072	405.04	105.85	510.89	500.82	40.28
59	#1104 - 5885 OLIVE AVE	1072	405.04	105.85	510.89	500.82	40.28
60	#1105 - 5885 OLIVE AVE	1007	380.47	99.44	479.91	470.45	37.84
61	#1206 - 5885 OLIVE AVE	1094	413.34	108.03	521.37	511.10	41.08
62	#1201 - 5885 OLIVE AVE	1094	413.34	108.03	521.37	511.10	41.08
63	#1202 - 5885 OLIVE AVE	1150	434.50	113.56	548.06	537.26	43.20
64	#1203 - 5885 OLIVE AVE	1072	405.04	105.85	510.89	500.82	40.28
65	#1204 - 5885 OLIVE AVE	1072	405.04	105.85	510.89	500.82	40.28
66	#1205 - 5885 OLIVE AVE	1007	380.47	99.44	479.91	470.45	37.84
67	#1406 - 5885 OLIVE AVE	1094	413.34	108.03	521.37	511.10	41.08
68	#1401 - 5885 OLIVE AVE	1094	413.34	108.03	521.37	511.10	41.08
69	#1402 - 5885 OLIVE AVE	1150	434.50	113.56	548.06	537.26	43.20
70	#1403 - 5885 OLIVE AVE	1073	405.42	105.95	511.37	501.29	40.32
71	#1404 - 5885 OLIVE AVE	1073	405.42	105.95	511.37	501.29	40.32
72	#1405 - 5885 OLIVE AVE	1007	380.47	99.44	479.91	470.45	37.84
73	#1506 - 5885 OLIVE AVE	1094	413.34	108.03	521.37	511.10	41.08
74	#1501 - 5885 OLIVE AVE	1094	413.34	108.03	521.37	511.10	41.08
75	#1502 - 5885 OLIVE AVE	1150	434.50	113.56	548.06	537.26	43.20
76	#1503 - 5885 OLIVE AVE	1073	405.42	105.95	511.37	501.29	40.32
77	#1504 - 5885 OLIVE AVE	1073	405.42	105.95	511.37	501.29	40.32
78	#1505 - 5885 OLIVE AVE	1007	380.47	99.44	479.91	470.45	37.84
79	#1606 - 5885 OLIVE AVE	1094	413.34	108.03	521.37	511.10	41.08
80	#1601 - 5885 OLIVE AVE	1094	413.34	108.03	521.37	511.10	41.08
81	#1602 - 5885 OLIVE AVE	1149	434.13	113.46	547.59	536.79	43.20
82	#1603 - 5885 OLIVE AVE	1073	405.42	105.95	511.37	501.29	40.32
83	#1604 - 5885 OLIVE AVE	1073	405.42	105.95	511.37	501.29	40.32
84	#1605 - 5885 OLIVE AVE	1007	380.47	99.44	479.91	470.45	37.84
85	#1706 - 5885 OLIVE AVE	1094	413.34	108.03	521.37	511.10	41.08
86	#1701 - 5885 OLIVE AVE	1094	413.34	108.03	521.37	511.10	41.08
87	#1702 - 5885 OLIVE AVE	1149	434.13	113.46	547.59	536.79	43.20
88	#1703 - 5885 OLIVE AVE	1073	405.42	105.95	511.37	501.29	40.32
89	#1704 - 5885 OLIVE AVE	1073	405.42	105.95	511.37	501.29	40.32
90	#1705 - 5885 OLIVE AVE	1007	380.47	99.44	479.91	470.45	37.84
91	#1806 - 5885 OLIVE AVE	1095	413.72	108.13	521.85	511.56	41.16
92	#1801 - 5885 OLIVE AVE	1095	413.72	108.13	521.85	511.56	41.16
93	#1802 - 5885 OLIVE AVE	1149	434.13	113.46	547.59	536.79	43.20
94	#1803 - 5885 OLIVE AVE	1072	405.04	105.85	510.89	500.82	40.28
95	#1804 - 5885 OLIVE AVE	1074	405.79	106.05	511.84	501.75	40.36
96	#1805 - 5885 OLIVE AVE	1007	380.47	99.44	479.91	470.45	37.84
97	#1906 - 5885 OLIVE AVE	1096	414.11	108.22	522.33	512.03	41.20
98	#1901 - 5885 OLIVE AVE	1096	414.11	108.22	522.33	512.03	41.20
99	#1902 - 5885 OLIVE AVE	1149	434.13	113.46	547.59	536.79	43.20
100	#1903 - 5885 OLIVE AVE	1071	404.65	105.76	510.41	500.35	40.24

*The retroactive fee adjustment is calculated as the difference between the new strata fees and old strata fees, multiplied by the number of months subsequent to the year end in which the old strata fees were assessed.

NW 3355 - Metroplitian
Approved Strata Fee Schedule
May 01, 2024 to Apr 30, 2025

Strata Lot Number	Civic Address	Unit Entitlement	Op. Fund Monthly Contribution \$	CRF Monthly Contribution \$	Total Monthly Strata Fees \$	OLD Monthly Strata Fees \$	Fee Adjustment May01-Sep30/24 \$
101	#1904 - 5885 OLIVE AVE	1073	405.42	105.95	511.37	501.29	40.32
102	#1905 - 5885 OLIVE AVE	1007	380.47	99.44	479.91	470.45	37.84
103	#2006 - 5885 OLIVE AVE	1096	414.11	108.22	522.33	512.03	41.20
104	#2001 - 5885 OLIVE AVE	1096	414.11	108.22	522.33	512.03	41.20
105	#2002 - 5885 OLIVE AVE	1149	434.13	113.46	547.59	536.79	43.20
106	#2003 - 5885 OLIVE AVE	1071	404.65	105.76	510.41	500.35	40.24
107	#2004 - 5885 OLIVE AVE	1073	405.42	105.95	511.37	501.29	40.32
108	#2005 - 5885 OLIVE AVE	1007	380.47	99.44	479.91	470.45	37.84
109	#2106 - 5885 OLIVE AVE	1096	414.11	108.22	522.33	512.03	41.20
110	#2101 - 5885 OLIVE AVE	1096	414.11	108.22	522.33	512.03	41.20
111	#2102 - 5885 OLIVE AVE	1149	434.13	113.46	547.59	536.79	43.20
112	#2103 - 5885 OLIVE AVE	1071	404.65	105.76	510.41	500.35	40.24
113	#2104 - 5885 OLIVE AVE	1074	405.79	106.05	511.84	501.75	40.36
114	#2105 - 5885 OLIVE AVE	1007	380.47	99.44	479.91	470.45	37.84
115	#2206 - 5885 OLIVE AVE	1096	414.11	108.22	522.33	512.03	41.20
116	#2201 - 5885 OLIVE AVE	1096	414.11	108.22	522.33	512.03	41.20
117	#2202 - 5885 OLIVE AVE	1149	434.13	113.46	547.59	536.79	43.20
118	#2203 - 5885 OLIVE AVE	1071	404.65	105.76	510.41	500.35	40.24
119	#2204 - 5885 OLIVE AVE	1074	405.79	106.05	511.84	501.75	40.36
120	#2205 - 5885 OLIVE AVE	1007	380.47	99.44	479.91	470.45	37.84
121	#2306 - 5885 OLIVE AVE	1096	414.11	108.22	522.33	512.03	41.20
122	#2301 - 5885 OLIVE AVE	1096	414.11	108.22	522.33	512.03	41.20
123	#2302 - 5885 OLIVE AVE	1149	434.13	113.46	547.59	536.79	43.20
124	#2303 - 5885 OLIVE AVE	1072	405.04	105.85	510.89	500.82	40.28
125	#2304 - 5885 OLIVE AVE	1074	405.79	106.05	511.84	501.75	40.36
126	#2305 - 5885 OLIVE AVE	1005	379.72	99.24	478.96	469.52	37.76
127	PH #6 - 5885 OLIVE AVE	1347	508.94	133.01	641.95	629.29	50.64
128	#2401 - 5885 OLIVE AVE	1347	508.94	133.01	641.95	629.29	50.64
129	PH #2 - 5885 OLIVE AVE	1371	518.01	135.38	653.39	640.50	51.56
130	#2403 - 5885 OLIVE AVE	1291	487.78	127.48	615.26	603.13	48.52
131	PH #4 - 5885 OLIVE AVE	1290	487.40	127.38	614.78	602.66	48.48
132	PH #5 - 5885 OLIVE AVE	1371	518.01	135.38	653.39	640.50	51.56

Total:	144,311	54,525.24	14,249.99	68,775.23	67,419.41	5,423.28
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Total Annual Fee (X 12 months) =	654,302.88	170,999.88	825,302.76	809,032.92
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**V3355 NW3355 - The Metropolitan
Contingency Reserve Fund - Projected
May 01, 2024 to Apr 30, 2025**

Account	Description	
35354	Opening Balance of Contingency Reserve Fund (CRF)	497,210.00
48000	Contingency Reserve Fund Contributions	171,000.00
49345	Interest	29,379.00
33500	CRF expenditure - Resolution for Depreciation Report	(15,000.00)
36404	CRF - Resolution for Window Trial Project Cancellation	83,000.00
	Probable Balance of Contingency Reserve Fund at the end of the fiscal year	<u><u>765,589.00</u></u>



IMPORTANT INFORMATION Please have this translated

重要資料 請找人為你翻譯

RENSEIGNEMENTS IMPORTANTS Prière de les faire traduire

これはたいせつなお知らせです。どなたかに日本語に訳してもらってください。

INFORMACIÓN IMPORTANTE Busque alguien que le traduzca

알려드립니다 이것을 번역해 주십시오

CHỈ DẪN QUAN TRỌNG Xin nhờ người dịch hộ

ਜ਼ਰੂਰੀ ਜਾਣਕਾਰੀ ਕਿਰਪਾ ਕਰਕੇ ਕਿਸੇ ਕੋਲੋਂ ਇਸ ਦਾ ਉਲੰਘਾ ਕਰਵਾਓ

MEMORANDUM

TO: The Owners, Strata Plan NW3355
FROM: Beverly Kapush, Senior Strata Manager
RE: **ANNUAL GENERAL MEETING MINUTES**

DATE: July 14, 2023

Attached are the minutes of the Annual General Meeting held on Tuesday, July 11, 2023. Please read and retain them for future reference.

STRATA FEES:

Strata fees **have increased retroactively** with a catch-up schedule. refer to payment options in the meeting minutes.

BYLAWS/RULES:

NEW BYLAWS/RULES WERE PASSED. Please access **FSRConnect™** Association Documents for the current Bylaws/Rules.

FSRConnect™ REGISTRATION

Sign up for the Resident Portal today to get access to the latest essential documents and information for your community. To register please visit here: <https://portal.connectresident.com/#/registration> and click on the 'Create Account' button. Having trouble? For assistance call our Care Center which is open 24/7 365 days a year with translation services available in 31 different languages. The Care Centre team can be reached at 833-710-6869.

* * *

**MINUTES
ANNUAL GENERAL MEETING
THE OWNERS STRATA PLAN NW3355
THE METROPOLITAN**

***Held on Tuesday, July 11, 2023
Within the Lobby,
5885 Olive Avenue, Burnaby BC***

Following registration that started at 6:30 p.m., certification of proxies and issuance of voting was completed.

QUORUM STATUS REPORT

Subject to the Bylaws, a quorum for a general meeting is eligible voters holding 1/3 of the Strata Corporation's votes, present in person or by proxy. As the Strata Corporation currently consists of 132 eligible votes, 44 eligible votes represent a quorum in this instance. Owners who received a demand letter for non-payment of strata fees and special levies were not eligible to cast a vote. At the commencement of the meeting, there were 45 eligible votes represented in person and 22 represented by proxy, for a total of votes represented. The quorum requirements had been achieved and the meeting proceeded.

CALL TO ORDER

The meeting was called to order at 7:05 p.m. by Arlene Henry, Council President who acted as Chairperson per the Strata Plan Bylaws

FirstService Residential BC Ltd. was represented by Beverly Kapush who assisted with facilitating the Meeting in person.

PROOF OF NOTICE

It was moved and seconded that despite some Owners advising they did receive the Notice of Meeting, dated June 21, 2023, the meeting proceeded per requirements of the *Strata Property Act* and that the most recently approved financial statements had been received. **CARRIED.**

APPROVAL OF AGENDA

It was moved and seconded to approve the agenda as distributed with the Notice of Meeting.

60 IN FAVOUR, 6 OPPOSED, 1 ABSTAINED. **CARRIED.**

APPROVAL OF GENERAL MEETING MINUTES

It was moved and seconded to approve the Minutes of the Special General Meeting held December 16, 2022, as previously circulated.

67 IN FAVOUR, 0 OPPOSED, 0 ABSTAINED. **CARRIED.**

PRESIDENT'S REPORT

Refer to the president's report attached at the end of this document.

REPORT ON INSURANCE

This important Report on Insurance was discussed in detail with the Owners and Strata Council. The Strata Manager on behalf of the Chairperson took the opportunity to advise those in attendance of the following information regarding strata lot ownership and other matters concerning the Strata Corporation, including the Strata's annual insurance renewal.

Strata Corporation Insurance and Coverages

The Strata Corporation's policy is designed to cover loss arising from fortuitous causes, subject to exclusions stated in the policy wordings, and the applicable deductible in the event of a claim. Please refer to the Insurance Summary included with your Notice of Meeting which outlines the Strata's insurance coverage, applicable limits, and deductibles.

- Section 149 of the *Strata Property Act* requires the Strata Corporation to obtain and maintain property insurance on common property, common assets, buildings shown on the Strata Plan, and fixtures built or installed by the owner developer as part of the original construction on the Strata lot. The property insurance must be based on full replacement value and insure against all **major perils**, such as fire and water escape, as set out in the regulations of the Act, as well as any other perils specified in the bylaws. Your Strata Corporation's insurance policy is currently held with BFL Canada and is insured for a replacement value of \$66,906,000 based on information contained in the insurance appraisal performed by Normac Appraisers.
- Section 150 of the *Strata Property Act* requires the Strata Corporation to also obtain and maintain liability insurance to insure the strata corporation against liability for property damage and bodily injury.
- Although optional under Section 151 of the *Strata Property Act*, all Strata Corporations managed by FirstService Residential BC Ltd. have errors and omissions insurance for council members against their liability and expenses for errors and omissions made in the exercise of their powers and performance of their duties as council members.

Please note the Strata Corporation's policy does NOT provide coverage for loss or damage to:

- Strata lot Owner's betterments and/or improvements to the strata lot
- Strata lot Owner's and/or Tenant's personal property
- Strata lot Owner's rental income loss (if applicable)

Note: While most Strata Insurance policies include Additional Living Expense coverage, this coverage is designed to help with unit owners' costs when they are displaced after a claim. The Strata's coverage is secondary and will be drawn upon after the unit owner's coverage is exhausted.

Insurance Coverage Recommendations

The Strata Manager on behalf of the Chairperson reminded all in attendance that it is strongly encouraged that they obtain their insurance coverage. While Owners should contact their broker, the following coverages are recommended as a guideline:

- **Personal property** such as furniture, jewelry, and other belongings in the Strata lot or designated storage space.
- **Additional Living Expenses** incurred as a result of the insured premises being uninhabitable as a direct result of an insured loss or damage.
- Strata lot **Betterments and Improvements** completed at a Strata lot Owner's expense, such as upgraded flooring, fixtures, appliances, etc.
- Owners should have coverage for any **Strata Deductible Assessments** in the event the Strata Corporation tries to recover the deductible portion of an insurance claim from an owner that is responsible for the loss or damage that gave rise to the claim. Please have your insurance broker review the current strata corporation bylaws.
- **Special Assessments** coverage which protects the owner's share of levies for damage to the common property that may be charged back to the Owner for a variety of reasons. For example, all Owners should ensure they are covered for their portion of the Strata's **earthquake deductible**, which would be calculated based on a percentage of the replacement value and then split amongst owners by unit entitlement.
- **Personal Liability** protects legal responsibility to others for claims arising from bodily injury, property damage, and more.
- If the Strata Lot is rented, **Loss of Rental Income** incurred by a Strata lot Owner as a result of the insured premises being uninhabitable by the tenant as a result of an insured loss or damage.

Note: In a rental situation, there are three separate parties; therefore, there should be three separate insurance policies: the Strata Corporation policy, the Owner's policy, and the Tenant's policy. The non-resident Owner should make sure their tenant clearly understands what is not covered under the Strata Corporation's policy (i.e. – personal contents).

*A copy of the Strata Corporation's most recent insurance summary, policy, and property appraisal can be found on **FSRConnect™**. <https://portal.connectresident.com/#/registration>*

SIMPLE TIPS TO SAFEGUARD YOUR INVESTMENT

DOs inside your home:

- Know the location of all the water line shut-off valves for emergency shut-off use (i.e. – kitchen & bathroom sinks, dishwasher, toilets, and washing machine).
- Check and replace hoses as required – washing machine, dishwasher, etc. Have a plumber make sure the check valves are working properly.

- Check the condition of the seals around your bathtub, toilet, faucet, and shower heads; repair or replace caulking when necessary.
- When you leave on vacation, think about shutting off the water supply at each water line shut-off.
- Install a 4-inch lip sheet metal drain pan connecting to a floor drain underneath all in-suite washer appliances.

DON'Ts inside your home:

- Do NOT hang clothes on sprinkler heads.
- Do NOT store contents and storage boxes within 24 inches of the ceiling or wall-mounted sprinkler heads.
- Do NOT flush “stuff” in the toilets i.e., kitty litter, feminine products, etc.
- Do NOT leave your washing machine or dishwasher running in your absence.
- Do NOT use nails longer than 3/4 inches as it poses puncturing problems for hidden pipes. If you are using nails or drilling, be cautious of the piping inside the wall.

**CONSIDERATION OF MAJORITY VOTE RESOLUTION “A”
BUDGET**

Owners were referred to the proposed 2023 Operating Budget, the schedule of strata fees, and the accompanying notes explaining how the figures were prepared.

It was moved and seconded to bring the proposed operating budget(s) to the floor for discussion.

After some discussion, the vote was called. The results were as follows:

44 IN FAVOUR, 20 OPPOSED, 4 ABSTAINED. **CARRIED.**

(Please note, strata fees have increased retroactively with a catch-up schedule)

PAYMENT OPTIONS:

1. **Electronic Payment Portal (ClickPay):** Pay fees online through our partner, ClickPay. To register, simply go to our “make a payment” page on our website (<https://www.fsresidential.com/british-columbia/>) or your Connect™ community homepage.

Connect™ “Make a Payment” Page:



2. **Owners Who Pay by Online Banking:** Owners will have to re-submit the strata fee amount for future months, as well as any retroactive payment, if necessary, as per the attached fee schedule. Ensure to select “FirstService Residential BC (Strata)” when remitting payment.

NOTE: You will need your account number when submitting a payment via online banking. Your account number can be found on your Connect™ community portal account page.

3. **Owners Who Pay by Post-Dated Cheques:** Please send in 12 post-dated cheques payable to Strata Plan NW3355, as well as any retroactive payment, if necessary, as per the attached fee schedule.

If you have any questions regarding your account, please contact the Accounts Receivable Department at ar.bc@fsresidential.com.

CONSIDERATION OF 3/4 VOTE RESOLUTION "B" WAIVING UPDATE OF DEPRECIATION REPORT

It was moved and seconded to bring the proposed resolution to the floor for discussion. Resolution “B” reads as follows:

PREAMBLE: The last Depreciation Report prepared by Sense Engineering Ltd., has a start date of May 1, 2020 (i.e., the first fiscal year covered by the report is the 2021 fiscal year, which ran from May 1, 2020 – April 30, 2021). If the Strata would like to update the depreciation report every 3 years, the next update is slated for the 2024 fiscal year (i.e., May 1, 2023 – April 30, 2024).

WHEREAS The Owners, Strata Plan NW 3355, wish to waive the requirement to update the existing Depreciation Report otherwise required every three years under Section 94 of the *Strata Property Act* [SBC 1998];

BE IT RESOLVED by a 3/4 Vote Resolution of The Owners, Strata Plan NW 3355, in person or by proxy at this General Meeting that by Section 94(3) (a) of the *Strata Property Act* the requirement to update the existing Depreciation Report is hereby waived until the next Annual General Meeting.

After some discussion, the vote was called. The results were as follows:

68 IN FAVOUR, 0 OPPOSED, 0 ABSTAINED. **CARRIED.**

[AS RESOLUTION “B” WAS APPROVED, RESOLUTION “C” WAS NOT CONSIDERED]

3/4 VOTE RESOLUTION "C"
DEPRECIATION REPORT UPDATE

(NOT CONSIDERED AS 3/4 VOTE RESOLUTION "B" WAS APPROVED)

It was moved and seconded to bring the proposed resolution to the floor for discussion. Resolution "C" reads as follows:

PREAMBLE: The last Depreciation Report prepared by Sense Engineering Ltd., has a start date of May 1, 2020 (i.e., the first fiscal year covered by the report is the 2021 fiscal year, which ran from May 1, 2020 – April 30, 2021). If the Strata would like to update the depreciation report every 3 years, the next update is slated for the 2024 fiscal year (i.e., May 1, 2023 – April 30, 2024).

WHEREAS The Owners, Strata Plan NW 3355, wish to obtain a Depreciation Report as required under Section 94 of the *Strata Property Act* [SBC 1998];

BE IT RESOLVED by a Majority Vote Resolution of The Owners, Strata Plan NW 3355, in person or by proxy at this General Meeting, that a sum of money not exceeding \$9,000.00 be spent to obtain a Depreciation Report, such expenditure to be charged against the Contingency Reserve Fund.

CONSIDERATION OF 3/4 VOTE RESOLUTION "D"
FIRE PUMP REPLACEMENT
(CRF EMERGENCY EXPENDITURE)

It was moved and seconded to bring the proposed resolution to the floor for discussion. Resolution "D" reads as follows:

PREAMBLE: Mircom, the Strata Corporation's fire safety service provider, reported that the fire pump controller was 'impaired and 'red-X'd.' They quoted for the supply, installation, and commissioning of a new fire pump controller to replace the existing unit, as the power failure alarm relay has failed, and OEM parts are no longer available. To comply, and in the interest of fire safety, the Strata Council approved its immediate replacement with funding from the Contingency Reserve Fund in the amount of \$31,995.00.

WHEREAS Section 96 of the *Strata Property Act* states that a Strata Corporation must not spend money from the Contingency Reserve Fund unless first approved by a 3/4 vote resolution at an Annual or Special General Meeting, or authorized under Section 98(3);

AND WHEREAS The Owners, Strata Plan NW 3355, were faced with an emergency expenditure to ensure safety or prevent significant loss or damage, whether physical or otherwise;

BE IT RESOLVED that the Owners, Strata Plan NW 3355, in person or by proxy at this General Meeting ratify the emergency expense from the Contingency Reserve Fund in the amount of \$31,995.00 to address the replacement of the fire pump controller.

After some discussion, the vote was called. The results were as follows:

68 IN FAVOUR, 0 OPPOSED, 0 ABSTAINED. **CARRIED.**

CONSIDERATION OF 3/4 VOTE RESOLUTION "E"
ELEVATOR MODERNIZATION HVAC
(CRF EXPENDITURE IDENTIFIED IN DEPRECIATION REPORT)

It was moved and seconded to bring the proposed resolution to the floor for discussion. Resolution "E" reads as follows:

PREAMBLE: The Strata Council approved awarding the contract for the electrical work and fire alarm upgrade for elevator modernization to Fina Electrical Systems Ltd. This includes the HVAC system for the elevators. The total estimated current project cost, which includes the elevator and electrical contract, contingencies, consulting fees, and GST, totals \$1,019,179.36. The total amount collected from Owners via special levy for the Elevator Modernization is \$784,000.00, resulting in an additional cost of \$236,000.00.

WHEREAS The Owners, Strata Plan NW 3355, wish to cover the additional cost with funding from the Contingency Reserve Fund, to see the completion of the elevator modernization project,

AND WHEREAS the *Strata Property Act of BC*, Section 96 permits a Contingency Reserve Fund expenditure approved first by a majority vote at an annual or special general meeting if the expenditure is related to the repair, maintenance, or replacement as recommended in the most current Depreciation Report for common property, common assets, or the portions of a strata lot for which the strata corporation has taken responsibility under section 72(3);

AND WHEREAS, the Depreciation Report dated June 29, 2020, identifies elevator modernization as such expenditure for repair, maintenance, or replacement;

BE IT RESOLVED that the Owners, Strata Plan NW 3355, in person or by proxy at this General Meeting ratify the expense from the Contingency Reserve Fund in the amount of \$236,000.00 to cover the Elevator Modernization HVAC system.

After some discussion, the vote was called. The results were as follows:

50 IN FAVOUR, 11 OPPOSED, 7 ABSTAINED. **CARRIED.**

CONSIDERATION OF 3/4 VOTE RESOLUTION "F"
WINDOW TRIAL PROJECT
(CRF EXPENDITURE IDENTIFIED IN DEPRECIATION REPORT)

It was moved and seconded to bring the proposed resolution to the floor for discussion. Resolution "F" reads as follows:

PREAMBLE: The Strata Council surveyed owners in the spring and fall of 2022, on the status of windows and received feedback from approximately 90 of the 132-unit owners. They discovered that many units have leaking windows, that some windows are cracked, and as well there are broken, missing, or non-functioning handles and hinges -- resulting in many of the windows not being able to close (or open) year-round. The Strata Council engaged Sense Engineering to assist them in connecting them with the appropriate contractor to conduct a window trial project. Sense Engineering provided a summary of five bids for the trial window repairs with the lowest bid being \$49,940 and the highest \$150,000. The total cost including set-up, engineering, water

testing, and 15% contingency totals \$83,000 for the lowest bid. The Strata Council feels that this project must proceed as it will give the Strata Owners an idea of the scope of work and costs to complete all windows repair.

WHEREAS The Owners, Strata Plan NW 3355, wish to proceed with a window trial project;

AND WHEREAS the *Strata Property Act of BC*, Section 96 permits a Contingency Reserve Fund expenditure approved first by a majority vote at an annual or special general meeting if the expenditure is related to the repair, maintenance, or replacement as recommended in the most current Depreciation Report for common property, common assets, or the portions of a strata lot for which the strata corporation has taken responsibility under section 72(3);

AND WHEREAS, the Depreciation Report dated June 29, 2020, identifies window repairs as such expenditure for repair, maintenance, or replacement;

BE IT RESOLVED by a Majority Vote Resolution of The Owners, Strata Plan NW 3355, in person or by proxy at this General Meeting, that a sum of money not exceeding \$83,000.00 be spent for window trial project, such expenditure to be charged against the Contingency Reserve Fund.

After some discussion, the vote was called. The results were as follows:

43 IN FAVOUR, 12 OPPOSED, 13 ABSTAINED. **CARRIED.**

CONSIDERATION OF 3/4 VOTE RESOLUTION "G"
BYLAW AMENDMENT – CORRECTION

It was moved and seconded to bring the proposed resolution to the floor for discussion. Resolution "G" reads as follows:

WHEREAS The Owners, Strata Plan NW 3355, under Section 128 of the *Strata Property Act*, S.B.C. 1998, may amend the Bylaws of the Strata Corporation,

AND WHEREAS The Owners, Strata Plan NW 3355, wish to amend the Bylaws of their Strata Corporation to include the installation of heat pumps,

BE IT RESOLVED by a 3/4 vote resolution of The Owners, Strata Plan NW 3355, in person or by proxy at this General Meeting that the Bylaws of the Strata Corporation be amended, as follows, such amendment to be effective upon the filing of an Amendment to Bylaws in the prescribed form in the Land Title Office.

The Bylaws attached hereto be and are hereby substituted, therefore,

1. **Bylaw Amendments:** The Strata Council will propose the following 3/4 Vote bylaw amendment for Owners 'consideration and vote:
 - (i) A correction to bylaw 4.3 which references Bylaw 38 and it should reference Bylaw 39,

After some discussion, the vote was called. The results were as follows:

68 IN FAVOUR, 0 OPPOSED, 0 ABSTAINED. **CARRIED.**

**CONSIDERATION OF 3/4 VOTE RESOLUTION "H"
BYLAW AMENDMENT – RENTAL RESTRICTIONS**

It was moved and seconded to bring the proposed resolution to the floor for discussion. Resolution "H" reads as follows:

PREAMBLE: On November 21, 2022, the Office of the Premier announced changes to the Strata Property Act ("SPA") impacting rental properties in British Columbia. One of these changes was the banning of strata rental restriction bylaws.

WHEREAS The Owners, Strata Plan NW 3355, under Section 128 of the *Strata Property Act*, S.B.C. 1998, may amend the Bylaws of their Strata Corporation,

AND WHEREAS The Owners, Strata Plan NW 3355, wish to amend the Bylaws of their Strata Corporation to be following current legislation which bans a rental restriction bylaw,

BE IT RESOLVED by a 3/4 vote resolution of The Owners, Strata Plan NW 3355, in person or by proxy at this General Meeting that the Bylaws of the Strata Corporation be amended as follows, such amendment to be effective upon the filing of an Amendment to Bylaws in the prescribed form in the Land Title Office.

The Bylaws attached hereto be and are hereby substituted, therefore,

by **amending** Bylaw 45 which reads, as follows:

"RENTALS

45. Residential rentals

[NOTE TO READER: The rental restriction set out in bylaw 45.1 was first approved by the owners at the general meeting held on May 8, 1993, and was filed in the Land Title Office under registration no. BG166796 on May 18, 1993. This restriction has not been repealed or replaced since then and is amended only for these bylaws.]

45.1 *The number of strata lots within the strata corporation that may be rented at any one time is limited to 14 strata lots.*

45.2 *An owner wishing to rent a strata lot must apply in writing to the strata council for permission to rent before entering into any tenancy agreement.*

45.3 *If the number of strata lots rented at the time an owner applies for permission to rent has reached the limit stated in bylaw 45.1, excluding exempt strata lots under sections 142, 143, and 144 of the Act, the strata council must refuse permission and notify the owner of the same in writing, as soon as possible stating that the limit has been reached or exceeded, as the case may be, and place the owner of the strata lot on a waiting list*

to be administered by the strata council based upon the date of the request for permission to rent.

- 45.4 *If the limit stated in bylaw 45.1 has not been reached at the time the owner applies for permission to rent a strata lot, excluding exempt strata lots under sections 142, 143, and 144 of the Act, the strata council will grant permission and notify the owner of the same in writing as soon as possible.*
- 45.5 *An owner receiving permission to rent a strata lot must ensure that a tenant occupies the strata lot within 90 days from the date that the strata council granted same, otherwise the permission expires. During the 90 days immediately following the grant of permission, the strata lot will be deemed rented for the limit stated in bylaw 45.1.*
- 45.6 *Permission to rent a strata lot granted under this bylaw 45 ceases on the earlier of:*
- (a) the end of the tenancy entered into immediately following the grant of permission to rent; and*
 - (b) the date on which the owner who received permission to rent commences residing in the strata lot.*
- 45.7 *Before possession of a strata lot by a tenant, the landlord must deliver to the tenant the current bylaws and rules of the strata corporation and a Notice of Tenant's Responsibilities in Form K.*
- 45.8 *Within two weeks of renting a strata lot, the landlord must give the strata corporation a copy of Form K - Notice of Tenant's Responsibilities signed by the tenant, per section 146 of the Act. Failure to provide the Form K will result in a fine of \$200.00 per month being levied against the strata lot for so long as the Form K remains outstanding.*
- 45.9 *Where an owner rents a strata lot in contravention of any of bylaws 45.1, 45.2, 45.3, 45.5, and 45.6, the owner will be subject to a fine of \$500.00, and the strata corporation will take all necessary steps to terminate the lease or tenancy, including, but not limited to, seeking a declaration or injunction to enforce the bylaw. Any legal costs incurred by the strata corporation in enforcing the rental restriction bylaws will be the responsibility of the contravening owner and will be recoverable from the owner on a solicitor and own client basis by the strata corporation."*

To read as follows:

"RENTALS

45. Residential rentals

- 45.1 *Before possession of a strata lot by a tenant, the landlord must deliver to the tenant the current bylaws and rules of the strata corporation and a Notice of Tenant's Responsibilities in Form K.*

- 45.2 *Within two weeks of renting a strata lot, the landlord must give the strata corporation a copy of Form K - Notice of Tenant's Responsibilities signed by the tenant, per section 146 of the Act. Failure to provide the Form K will result in a fine of \$200.00 per month being levied against the strata lot for so long as the Form K remains outstanding."*

By deleting bylaws 45.1, 45.2, 45.3, 45.4, 45.5, 45.6, and 45.9, all bylaws are hereby re-numbered sequentially.

END OF RESOLUTION

After some discussion, the vote was called. The results were as follows:

67 IN FAVOUR, 1 OPPOSED, 0 ABSTAINED. **CARRIED.**

CONSIDERATION OF 3/4 VOTE RESOLUTION "I" BYLAW AMENDMENT – HEAT PUMPS

It was moved and seconded to bring the proposed resolution to the floor for discussion. Resolution "I" reads as follows:

PREAMBLE: The Owners of Strata Plan of NW 3355 retained Sense Engineering to prepare a Heat Pump Installation Guideline Report for The Metropolitan at 5885 Olive Avenue, Burnaby. The primary purpose of the Report is to create Guidelines to provide homeowners with consistent direction for the safe and effective installation of air conditioning that minimizes the impacts on building appearance, noise, envelope and structural performance, and cost.

WHEREAS The Owners, Strata Plan NW 3355, under Section 128 of the *Strata Property Act*, S.B.C. 1998, may amend the Bylaws of their Strata Corporation,

AND WHEREAS The Owners, Strata Plan NW 3355, wish to amend the Bylaws of their Strata Corporation;

BE IT RESOLVED by a 3/4 vote resolution of The Owners, Strata Plan NW 3355, in person or by proxy at this General Meeting that the Bylaws of the Strata Corporation be amended as follows, such amendment to be effective upon the filing of an Amendment to Bylaws in the prescribed form in the Land Title Office.

The Bylaws attached hereto be and are hereby substituted, therefore,

by **amending** Bylaw 7.1 which reads, as follows:

7.1 An owner must obtain the written approval of the strata corporation before making or authorizing:

- (a) an alteration to a strata lot that involves any of the following:
 - (viii) wiring, plumbing, piping, heating, air conditioning, and other services;

to reads, as follows:

7.1 An owner must obtain the written approval of the strata corporation before making or authorizing:

- (a) an alteration to a strata lot that involves any of the following:
 - (viii) wiring, plumbing, piping, heating, air conditioning, heat pumps, and other services;

By amending bylaws 7.1, all bylaws are hereby re-numbered sequentially.

After some discussion, the vote was called. The results were as follows:

66 IN FAVOUR, 2 OPPOSED, 0 ABSTAINED. **CARRIED.**

**CONSIDERATION OF 3/4 VOTE RESOLUTION "J"
BYLAW AMENDMENT – OWNER/TENANT INFORMATION**

It was moved and seconded to bring the proposed resolution to the floor for discussion. Resolution "J" reads as follows:

PREAMBLE: There have been circumstances where an emergency has arisen, and the Owner or Tenant has not been able to be contacted promptly by the Caretaker for entry to prevent additional damages to the strata lot, common property, or other strata lots due to flooding. The Strata Corporation wishes to receive accurate contact information to assist with this and, in the event of a fire, to assist in notifying the fire department of how many residents, those needing special assistance, and/or those who have registered pet(s).

WHEREAS The Owners, Strata Plan NW 3355, under Section 128 of the *Strata Property Act*, S.B.C. 1998, may amend the Bylaws of their Strata Corporation,

AND WHEREAS The Owners, Strata Plan NW 3355, wish to amend the Bylaws of their Strata Corporation;

BE IT RESOLVED by a 3/4 vote resolution of The Owners, Strata Plan NW 3355, in person or by proxy at this General Meeting that the Bylaws of the Strata Corporation be amended as follows, such amendment to be effective upon the filing of an Amendment to Bylaws in the prescribed form in the Land Title Office.

The Bylaws attached hereto be and are hereby substituted, therefore,

by **adding new** Bylaw 4.4 which reads, as follows:

4.4 Within two (2) weeks of becoming a resident of a strata lot, the resident must provide the strata corporation with a completed Owner/Tenant Information Form to include their name, telephone number, email address, and emergency contact.

By adding bylaws 4.4, all bylaws are hereby re-numbered sequentially.

After some discussion, the vote was called. The results were as follows:

68 IN FAVOUR, 0 OPPOSED, 0 ABSTAINED. **CARRIED.**

ELECTION OF COUNCIL

The Strata Manager on behalf of the Chairperson advised that under the Bylaws of the Strata Corporation, the Council must consist of a minimum 3 up to a maximum of 7 members. Those persons elected to the Council at this meeting will hold office until the next Annual General Meeting

The following persons agreed to stand for Council with thanks and appreciation from all Owners:

Alice Crestejo

Arlene Henry

Stela Maksimovic

John Mather

Zoran Milicevic

Mabel Tam

Terra-Paul Siddoo

Graeme Smith

Sharon Straathof

To be elected to Council each nominee must obtain at least a majority vote of Owners.

As there were more than seven (the maximum) nominees, ballots were issued to the Owners for the vote. The voting to elect your new Strata Council then took place. The following owners will make up your Strata Council until the next annual general meeting as declared elected by achieving a majority vote:

Alice Crestejo

Stela Maksimovic

John Mather

Zoran Milicevic

Mabel Tam

Terra-Paul Siddoo

Graeme Smith

It was moved and seconded that the Strata Manager destroy the council election ballots.
CARRIED.

TERMINATION OF MEETING

There being no further business, it was moved to terminate the meeting at 10:03 p.m. **CARRIED.**

FirstService Residential BC Ltd.



Beverly Kapush
Senior Strata Manager
Per the Owners
Strata Plan NW3355

BK/ek

*Attachments: Amended President's Report -2023
Heat Pump Guideline (Final)*

Email: info.bc@fsresidential.com
Customer Care Centre: 1.855.273.1967 (24 hours non-emergency)

www.fsresidential.com

Please keep a copy of these minutes for future reference, which will be required at the time of sale. A charge, as per the *Strata Property Act*, will be assessed for replacement copies.

FSRConnect™ REGISTRATION

Sign up for the Resident Portal today to get access to the latest essential documents and information for your community. To register please visit here: <https://portal.connectresident.com/#/registration> and click on the 'Create Account' button. Having trouble? For assistance call our Care Center which is open 24/7 365 days a year with translation services available in 31 different languages. The Care Centre team can be reached at 833-710-6869.

In our dedication to ever-greater operational excellence and best practices, FirstService Residential uses **FSRConnect™**, an integrated web-based solution created solely for the property management industry. This software incorporates scores of advanced features that streamline building-level administration, operations, and communications.

A website portal, extended from **FSRConnect™**, is provided to your Strata Corporation, **FREE OF CHARGE**. Residents have secured access to stay up to date with community news, events, their accounts, etc. The email distribution capabilities and housing of strata documents will save postage and copying costs for the building.

V3355 NW3355 - The Metropolitan
Approved Annual Budget
May 01, 2023 to Apr 30, 2024

<u>Account</u>	<u>Description</u>	<u>Approved</u> <u>2023/2024</u> <u>Budget</u> <u>\$</u>
OPERATING FUND		
ASSESSMENTS		
40000	Operating Fund Contribution	728,320
40030	Contingency Fund Contribution	80,712
TOTAL ASSESSMENTS		809,032
OTHER REVENUE		
43000	Late Fees	211
43680	Move In / Move Out Fee	800
44130	Interest Income	200
44670	Parking Income	1,200
44745	Storage Income	300
44955	Rent - Strata Suite	8,400
TOTAL OTHER REVENUE		11,111
TOTAL REVENUE		820,143
EXPENSES		
INSURANCE & TAXES		
53000	Insurance	205,708
TOTAL INSURANCE & TAXES		205,708
PROFESSIONAL FEES		
55065	Accounting / Audit / Tax Filing	315
55235	Legal Fees	500
55570	Management Fees	39,008
TOTAL PROFESSIONAL FEES		39,823
SALARIES & BENEFITS		
57000	Caretaker Wages & Benefits	59,000
TOTAL SALARIES & BENEFITS		59,000

V3355 NW3355 - The Metropolitan
Approved Annual Budget
May 01, 2023 to Apr 30, 2024

<u>Account</u>	<u>Description</u>	<u>Approved 2023/2024 Budget</u> \$
UTILITIES		
59000	Electricity	50,000
59300	Gas	70,000
59660	Telephone, Cellular, Cable, Internet	1,000
59705	Garbage Removal	5,500
59800	Water Sewer	900
TOTAL UTILITIES		127,400
BUILDING & GROUNDS		
60005	Easement	2,000
63200	Building Services Miscellaneous	16,000
63450	Window Cleaning	9,500
TOTAL BUILDING & GROUNDS		27,500
MAINTENANCE & REPAIRS		
64115	Repair Maintenance	100,000
64920	Grounds RM	68,000
65915	Elevator RM	40,000
66095	Mechanical RM	25,000
66530	Janitorial Services And Supplies	20,000
TOTAL REPAIR & MAINTENANCE		253,000
SECURITY & MONITORING		
68530	Fire Equipment RM	20,000
TOTAL SECURITY & MONITORING		20,000
RECREATION CENTER		
73800	Recreation Facilities / Amenities / Gym	7,000
TOTAL REC CENTER OPERATIONS		7,000

V3355 NW3355 - The Metropolitan
Approved Annual Budget
May 01, 2023 to Apr 30, 2024

<u>Account</u>	<u>Description</u>	<u>Approved</u> <u>2023/2024</u> <u>Budget</u> <u>\$</u>
	OTHER EXPENSES	
76000	Contingency	80,712
TOTAL OTHER EXPENSE		80,712
TOTAL OPERATING EXPENSES		820,143
NET OPERATING INCOME/(LOSS)		-
	OPENING BALANCE	
30400	Operating Fund - Opening Balance	41
ENDING OPERATING FUND BALANCE		41

NW 3355 - Metroplitian
Approed Strata Fee Schedule
May 01, 2023 to Apr 30, 2024

Strata Lot Number	Civic Address	Unit Entitlement	Op. Fund Monthly Contribution \$	CRF Monthly Contribution \$	Total Monthly Strata Fees \$	OLD Monthly Strata Fees \$	Fee Adjustment May/23-Jul/23 \$
1	#101 - 5885 OLIVE AVE	1091	458.84	50.85	509.69	467.22	127.41
2	#102 - 5885 OLIVE AVE	1051	442.03	48.98	491.01	450.09	122.76
3	#103 - 5885 OLIVE AVE	1011	425.20	47.12	472.32	432.96	118.08
4	#201 - 5885 OLIVE AVE	1097	461.37	51.13	512.50	469.79	128.13
5	#202 - 5885 OLIVE AVE	1097	461.37	51.13	512.50	469.79	128.13
6	#203 - 5885 OLIVE AVE	1142	480.29	53.23	533.52	489.06	133.38
7	#306 - 5885 OLIVE AVE	1098	461.78	51.18	512.96	470.22	128.22
8	#301 - 5885 OLIVE AVE	1101	463.05	51.32	514.37	471.50	128.61
9	#302 - 5885 OLIVE AVE	1140	479.46	53.13	532.59	488.20	133.17
10	#303 - 5885 OLIVE AVE	1076	452.54	50.15	502.69	460.80	125.67
11	#304 - 5885 OLIVE AVE	1076	452.54	50.15	502.69	460.80	125.67
12	#305 - 5885 OLIVE AVE	1000	420.57	46.61	467.18	428.25	116.79
13	#406 - 5885 OLIVE AVE	1098	461.78	51.18	512.96	470.22	128.22
14	#401 - 5885 OLIVE AVE	1097	461.37	51.13	512.50	469.79	128.13
15	#402 - 5885 OLIVE AVE	1142	480.29	53.23	533.52	489.06	133.38
16	#403 - 5885 OLIVE AVE	1074	451.69	50.06	501.75	459.94	125.43
17	#404 - 5885 OLIVE AVE	1076	452.54	50.15	502.69	460.80	125.67
18	#405 - 5885 OLIVE AVE	1000	420.57	46.61	467.18	428.25	116.79
19	#506 - 5885 OLIVE AVE	1098	461.78	51.18	512.96	470.22	128.22
20	#501 - 5885 OLIVE AVE	1099	462.21	51.22	513.43	470.65	128.34
21	#502 - 5885 OLIVE AVE	1142	480.29	53.23	533.52	489.06	133.38
22	#503 - 5885 OLIVE AVE	1076	452.54	50.15	502.69	460.80	125.67
23	#504 - 5885 OLIVE AVE	1075	452.12	50.10	502.22	460.37	125.55
24	#505 - 5885 OLIVE AVE	999	420.15	46.56	466.71	427.82	116.67
25	#606 - 5885 OLIVE AVE	1099	462.21	51.22	513.43	470.65	128.34
26	#601 - 5885 OLIVE AVE	1099	462.21	51.22	513.43	470.65	128.34
27	#602 - 5885 OLIVE AVE	1142	480.29	53.23	533.52	489.06	133.38
28	#603 - 5885 OLIVE AVE	1076	452.54	50.15	502.69	460.80	125.67
29	#604 - 5885 OLIVE AVE	1075	452.12	50.10	502.22	460.37	125.55
30	#605 - 5885 OLIVE AVE	1000	420.57	46.61	467.18	428.25	116.79
31	#706 - 5885 OLIVE AVE	1098	461.78	51.18	512.96	470.22	128.22
32	#701 - 5885 OLIVE AVE	1098	461.78	51.18	512.96	470.22	128.22
33	#702 - 5885 OLIVE AVE	1142	480.29	53.23	533.52	489.06	133.38
34	#703 - 5885 OLIVE AVE	1076	452.54	50.15	502.69	460.80	125.67
35	#704 - 5885 OLIVE AVE	1075	452.12	50.10	502.22	460.37	125.55
36	#705 - 5885 OLIVE AVE	999	420.15	46.56	466.71	427.82	116.67
37	#806 - 5885 OLIVE AVE	1096	460.95	51.08	512.03	469.36	128.01
38	#801 - 5885 OLIVE AVE	1096	460.95	51.08	512.03	469.36	128.01
39	#802 - 5885 OLIVE AVE	1146	481.98	53.41	535.39	490.77	133.86
40	#803 - 5885 OLIVE AVE	1074	451.69	50.06	501.75	459.94	125.43
41	#804 - 5885 OLIVE AVE	1073	451.28	50.01	501.29	459.51	125.34
42	#805 - 5885 OLIVE AVE	1003	421.83	46.75	468.58	429.53	117.15
43	#906 - 5885 OLIVE AVE	1096	460.95	51.08	512.03	469.36	128.01
44	#901 - 5885 OLIVE AVE	1096	460.95	51.08	512.03	469.36	128.01
45	#902 - 5885 OLIVE AVE	1146	481.98	53.41	535.39	490.77	133.86
46	#903 - 5885 OLIVE AVE	1074	451.69	50.06	501.75	459.94	125.43
47	#904 - 5885 OLIVE AVE	1073	451.28	50.01	501.29	459.51	125.34
48	#905 - 5885 OLIVE AVE	1003	421.83	46.75	468.58	429.53	117.15
49	#1006 - 5885 OLIVE AVE	1094	460.11	50.99	511.10	468.51	127.77
50	#1001 - 5885 OLIVE AVE	1094	460.11	50.99	511.10	468.51	127.77

Strata Lot Number	Civic Address	Unit Entitlement	Op. Fund Monthly Contribution \$	CRF Monthly Contribution \$	Total Monthly Strata Fees \$	OLD Monthly Strata Fees \$	Fee Adjustment May/23-Jul/23 \$
51	#1002 - 5885 OLIVE AVE	1150	483.66	53.60	537.26	492.49	134.31
52	#1003 - 5885 OLIVE AVE	1072	450.86	49.96	500.82	459.08	125.22
53	#1004 - 5885 OLIVE AVE	1072	450.86	49.96	500.82	459.08	125.22
54	#1005 - 5885 OLIVE AVE	1007	423.52	46.93	470.45	431.25	117.60
55	#1106 - 5885 OLIVE AVE	1094	460.11	50.99	511.10	468.51	127.77
56	#1101 - 5885 OLIVE AVE	1094	460.11	50.99	511.10	468.51	127.77
57	#1102 - 5885 OLIVE AVE	1150	483.66	53.60	537.26	492.49	134.31
58	#1103 - 5885 OLIVE AVE	1072	450.86	49.96	500.82	459.08	125.22
59	#1104 - 5885 OLIVE AVE	1072	450.86	49.96	500.82	459.08	125.22
60	#1105 - 5885 OLIVE AVE	1007	423.52	46.93	470.45	431.25	117.60
61	#1206 - 5885 OLIVE AVE	1094	460.11	50.99	511.10	468.51	127.77
62	#1201 - 5885 OLIVE AVE	1094	460.11	50.99	511.10	468.51	127.77
63	#1202 - 5885 OLIVE AVE	1150	483.66	53.60	537.26	492.49	134.31
64	#1203 - 5885 OLIVE AVE	1072	450.86	49.96	500.82	459.08	125.22
65	#1204 - 5885 OLIVE AVE	1072	450.86	49.96	500.82	459.08	125.22
66	#1205 - 5885 OLIVE AVE	1007	423.52	46.93	470.45	431.25	117.60
67	#1406 - 5885 OLIVE AVE	1094	460.11	50.99	511.10	468.51	127.77
68	#1401 - 5885 OLIVE AVE	1094	460.11	50.99	511.10	468.51	127.77
69	#1402 - 5885 OLIVE AVE	1150	483.66	53.60	537.26	492.49	134.31
70	#1403 - 5885 OLIVE AVE	1073	451.28	50.01	501.29	459.51	125.34
71	#1404 - 5885 OLIVE AVE	1073	451.28	50.01	501.29	459.51	125.34
72	#1405 - 5885 OLIVE AVE	1007	423.52	46.93	470.45	431.25	117.60
73	#1506 - 5885 OLIVE AVE	1094	460.11	50.99	511.10	468.51	127.77
74	#1501 - 5885 OLIVE AVE	1094	460.11	50.99	511.10	468.51	127.77
75	#1502 - 5885 OLIVE AVE	1150	483.66	53.60	537.26	492.49	134.31
76	#1503 - 5885 OLIVE AVE	1073	451.28	50.01	501.29	459.51	125.34
77	#1504 - 5885 OLIVE AVE	1073	451.28	50.01	501.29	459.51	125.34
78	#1505 - 5885 OLIVE AVE	1007	423.52	46.93	470.45	431.25	117.60
79	#1606 - 5885 OLIVE AVE	1094	460.11	50.99	511.10	468.51	127.77
80	#1601 - 5885 OLIVE AVE	1094	460.11	50.99	511.10	468.51	127.77
81	#1602 - 5885 OLIVE AVE	1149	483.24	53.55	536.79	492.06	134.19
82	#1603 - 5885 OLIVE AVE	1073	451.28	50.01	501.29	459.51	125.34
83	#1604 - 5885 OLIVE AVE	1073	451.28	50.01	501.29	459.51	125.34
84	#1605 - 5885 OLIVE AVE	1007	423.52	46.93	470.45	431.25	117.60
85	#1706 - 5885 OLIVE AVE	1094	460.11	50.99	511.10	468.51	127.77
86	#1701 - 5885 OLIVE AVE	1094	460.11	50.99	511.10	468.51	127.77
87	#1702 - 5885 OLIVE AVE	1149	483.24	53.55	536.79	492.06	134.19
88	#1703 - 5885 OLIVE AVE	1073	451.28	50.01	501.29	459.51	125.34
89	#1704 - 5885 OLIVE AVE	1073	451.28	50.01	501.29	459.51	125.34
90	#1705 - 5885 OLIVE AVE	1007	423.52	46.93	470.45	431.25	117.60
91	#1806 - 5885 OLIVE AVE	1095	460.52	51.04	511.56	468.93	127.89
92	#1801 - 5885 OLIVE AVE	1095	460.52	51.04	511.56	468.93	127.89
93	#1802 - 5885 OLIVE AVE	1149	483.24	53.55	536.79	492.06	134.19
94	#1803 - 5885 OLIVE AVE	1072	450.86	49.96	500.82	459.08	125.22
95	#1804 - 5885 OLIVE AVE	1074	451.69	50.06	501.75	459.94	125.43
96	#1805 - 5885 OLIVE AVE	1007	423.52	46.93	470.45	431.25	117.60
97	#1906 - 5885 OLIVE AVE	1096	460.95	51.08	512.03	469.36	128.01
98	#1901 - 5885 OLIVE AVE	1096	460.95	51.08	512.03	469.36	128.01
99	#1902 - 5885 OLIVE AVE	1149	483.24	53.55	536.79	492.06	134.19
100	#1903 - 5885 OLIVE AVE	1071	450.43	49.92	500.35	458.66	125.07
101	#1904 - 5885 OLIVE AVE	1073	451.28	50.01	501.29	459.51	125.34
102	#1905 - 5885 OLIVE AVE	1007	423.52	46.93	470.45	431.25	117.60
103	#2006 - 5885 OLIVE AVE	1096	460.95	51.08	512.03	469.36	128.01
104	#2001 - 5885 OLIVE AVE	1096	460.95	51.08	512.03	469.36	128.01

Strata Lot Number	Civic Address	Unit Entitlement	Op. Fund Monthly Contribution \$	CRF Monthly Contribution \$	Total Monthly Strata Fees \$	OLD Monthly Strata Fees \$	Fee Adjustment May/23-Jul/23 \$
105	#2002 - 5885 OLIVE AVE	1149	483.24	53.55	536.79	492.06	134.19
106	#2003 - 5885 OLIVE AVE	1071	450.43	49.92	500.35	458.66	125.07
107	#2004 - 5885 OLIVE AVE	1073	451.28	50.01	501.29	459.51	125.34
108	#2005 - 5885 OLIVE AVE	1007	423.52	46.93	470.45	431.25	117.60
109	#2106 - 5885 OLIVE AVE	1096	460.95	51.08	512.03	469.36	128.01
110	#2101 - 5885 OLIVE AVE	1096	460.95	51.08	512.03	469.36	128.01
111	#2102 - 5885 OLIVE AVE	1149	483.24	53.55	536.79	492.06	134.19
112	#2103 - 5885 OLIVE AVE	1071	450.43	49.92	500.35	458.66	125.07
113	#2104 - 5885 OLIVE AVE	1074	451.69	50.06	501.75	459.94	125.43
114	#2105 - 5885 OLIVE AVE	1007	423.52	46.93	470.45	431.25	117.60
115	#2206 - 5885 OLIVE AVE	1096	460.95	51.08	512.03	469.36	128.01
116	#2201 - 5885 OLIVE AVE	1096	460.95	51.08	512.03	469.36	128.01
117	#2202 - 5885 OLIVE AVE	1149	483.24	53.55	536.79	492.06	134.19
118	#2203 - 5885 OLIVE AVE	1071	450.43	49.92	500.35	458.66	125.07
119	#2204 - 5885 OLIVE AVE	1074	451.69	50.06	501.75	459.94	125.43
120	#2205 - 5885 OLIVE AVE	1007	423.52	46.93	470.45	431.25	117.60
121	#2306 - 5885 OLIVE AVE	1096	460.95	51.08	512.03	469.36	128.01
122	#2301 - 5885 OLIVE AVE	1096	460.95	51.08	512.03	469.36	128.01
123	#2302 - 5885 OLIVE AVE	1149	483.24	53.55	536.79	492.06	134.19
124	#2303 - 5885 OLIVE AVE	1072	450.86	49.96	500.82	459.08	125.22
125	#2304 - 5885 OLIVE AVE	1074	451.69	50.06	501.75	459.94	125.43
126	#2305 - 5885 OLIVE AVE	1005	422.68	46.84	469.52	430.39	117.39
127	PH #6 - 5885 OLIVE AVE	1347	566.51	62.78	629.29	576.85	157.32
128	#2401 - 5885 OLIVE AVE	1347	566.51	62.78	629.29	576.85	157.32
129	PH #2 - 5885 OLIVE AVE	1371	576.60	63.90	640.50	587.13	160.11
130	#2403 - 5885 OLIVE AVE	1291	542.96	60.17	603.13	552.87	150.78
131	PH #4 - 5885 OLIVE AVE	1290	542.54	60.12	602.66	552.44	150.66
132	PH #5 - 5885 OLIVE AVE	1371	576.60	63.90	640.50	587.13	160.11

Total:	144,311	60,693.43	6,725.98	67,419.41	61,801.20	16,854.63
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Total Annual Fee (X 12 months) =	728,321.16	80,711.76	809,032.92	741,614.40
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June 6, 2023

NOTICE TO RESIDENTS
Strata Plan NW3355 – The Metropolitan

AMENDED PRESIDENT'S REPORT

Dear Owners,

The attached President's Report replaces the one that was included in the Annual General Meeting notice package for the upcoming Annual General Meeting on July 11, 2023 at 7:00 pm that was previously circulated.

Please take this report with you to the meeting along with the original AGM notice material.

Thank you.

Beverly Kapush, Senior Strata Manager
Per the Owners, Strata Plan NW3355

BK/am

AMENDED
President's 2023 Annual Report
NW3355 - The Metropolitan
Prepared: June 28, 2023, for
July 11, 2023, AGM



It has been great to be fully out of hibernation and engage with so many of our neighbours once again and we especially welcome those new residents who have joined us over the last 12 months. We hope that you will find that we are a community of both long-term and new owners – those who have moved here after downsizing as well as those who are embarking on first-time home ownership.

The AGM is normally scheduled in June within two months following our April 30th fiscal year-end. Our last AGM was June 2022. However, it was only 7 months ago, last November, that we gathered in person to finally hold a SGM (Special General Meeting) focused on approving the roof replacement project. We are finally moving back on track – *Yahoo!*



New to the Council this term is long-term resident, Mabel Tam, she has provided us with much needed historical context. All elected volunteer council members again dove in quickly to learn what was necessary to be able to fulfill our collective responsibilities. Everyone embraced the steep learning curve with curiosity and without complaint. I would like to personally thank each of the current members of the Strata Council for stepping up. They have worked hard on behalf of the owners and residents, each bringing their own strengths to the table, supporting each other, and working as a team.

Your Council Members are:

Arlene Henry, President
Graeme Smith, Treasurer
Alice Crestejo
Mabel Tam

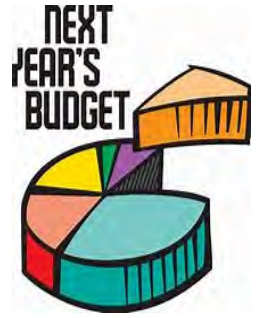
Sharon Straathof, Vice-President
John Mather, Secretary
Zoran Milisevic

We also want to thank Philip, our resident caretaker, who works very hard to ensure our building is well maintained. It seems no matter the hour he is always on the other end of that phone line -- troubleshooting how best to tackle the next issue our aging building throws our way. Finally, we also thank Beverly Kapush, FSR Property Manager, who takes care of all our paperwork and liaises with the countless number of contractors who keep the Metropolitan fully operational.

We believe the following Mission Statement from our report last fall still holds true:

'Strata Council is aware that as one of the older buildings within the Metrotown Town Centre, our units compete with newly constructed buildings, as well as other older buildings which are well-maintained and have made significant value-added upgrades. Our decisions are based on ensuring our building keeps pace with comparable buildings, your units hold their value within the current real estate market, and that we are viewed favourably by those looking to purchase in "established" buildings.'

Hard Financial Truths: Our current financial challenges continue to stem from the fact that for many fiscal years, we have unfortunately focused more on keeping monthly strata fees static rather than ensuring that we were steadily building our Contingency Reserve Fund (CRF) in accordance with the recommendations set out in the Depreciation Report. It is important to accumulate a CRF large enough to cover the costs of expensive capital projects such as roofs, elevators, windows, etc., as described in the 2021 Updated Depreciation Report.



The budget for the coming year:

- Acknowledges:
 - the increase in the maintenance contracts,
 - the more significant repairs required of an aging building, and
 - the Provincial government's requirement that the minimum yearly contribution to the CRF for all Strata Corporations be increased to **10%** of the annual operating expenses; and
- provides for a still **modest 10% increase to monthly strata fees**, and
- will use any surplus to further increase the requisite contribution to CRF.

Special Levies



- Owners have **partially funded Special Levy C** for the Roof Replacement project.
- *The Council proposes no new Special Levy project to Owners in this fiscal year– the focus is on building CRF to assist in funding parkade repairs, window replacement and building envelope projects, and other capital projects identified in the Depreciation Report.*

Typical strata business:

- Much of the business of the Council is to review and approve expenditures for repairs and maintenance of the building and equipment. The Resident Manager often identifies these issues which the Property Manager then follows up on.
- Many problems in the building are caused by various sources of water leaks. If these originate within the common property, it is the responsibility of the Strata to make repairs. If these originate within the Owner's unit, it is the responsibility of the owner to take care of all of the costs.
- ***The Strata strongly urges owners to carry sufficient insurance coverage for damage that originates in their units.*** If an owner does not have adequate insurance, the owner must personally cover the costs of damage.
- In addition, it is an owner's responsibility to ***maintain plumbing within their units.*** For example, owners should inspect their toilet seals and replace them: drains should be clear of hair and other material; small leaks in piping need addressing quickly; water lines from dishwashers, fridges and clothes washers need a routine inspection. These are the source of several problems in our building. ***Water leaks originating in any owner's unit are the owner's responsibility.***
- Planning to anticipate key issues is the continuing business of the Council. The Council refers to the Depreciation Report as it plans for upcoming issues and expenditures.

Strata Initiatives in the past year



Fibre Optic installation project was completed.



Automatic Door Opener installation project for the lobby door and Parkade entrances was completed.



• Toilet Replacement Project

- Many toilets in the Metropolitan are 30+ yrs old, installed when the building was built. Many of the water tanks have leaked or completely failed, causing significant damage to individual units, to multiple adjacent units and/or to common property *[Tank failure in one unit last July caused damage over 10 floors]*.
- Owners are responsible for damage and losses originating within their units. Damage to common property is borne by the Strata Corporation meaning that all owners share those costs. *[The July tank failure resulted in our deductible being increased by 100%]*
- Council researched a suitable one-piece replacement toilet – Colony® Right Height® Elongated One-Piece Toilet with Seat: Model #2961A104SC
- Council assisted in a bid process to source a company, Marvel Plumbing, who agreed to supply and install the new toilets and to dispose of the old toilets at a discounted flat rate payable by individual owners. Owners were billed directly by the plumbing company – as this was **not** a strata corporation expense.
- Although many units have already updated their toilets in recent years, many Owners retained Marvel to upgrade their aging toilets and/or replace the existing wax seals to reduce the risk of leakages and failures.
- **NOTE:** There have since been a couple of further old tank failures causing water damage to a unit and the adjacent unit below.

Heat Pumps



After the heat dome of 2021, we can expect the summers in BC to continue to get warmer so we will all need to manage temperatures in our homes. The Council asked Sense Engineering to prepare a report on how owners could install heat pumps in their units if they wish to do so. Their detailed report is attached.

How Do Heat Pumps Work?

- In the summer, heat pumps work like air conditioners. They move the hot air inside your condo unit to outside. They use less electricity than air conditioners. Unlike air conditioners, heat pumps can also heat your home in winter. They use less electricity than the electric baseboard heaters we have in our condo units now.
- An approved professional contractor needs to install a heat pump, which connects the pumps to the condo units existing electric panel.
- The Strata Council has proposed an amendment to the Bylaws to allow for the installation of heat pumps and is developing a set of Guidelines based on the Sense Report outlining the requirements that owners must meet if they choose to purchase and install a heat pump in their unit.
- Unfortunately, BC Hydro does not currently provide rebates for heat pumps for owners in multi-unit residential buildings such as The Metropolitan.

Landscaping.

- Curb appeal for our building continues to be enhancement by the landscapers and owners continue to enjoy existing plantings as they grow to maturity. Council approved limited improvements this year. Discretionary projects are on hold for the near term.



- EV Charging Units

- Last fiscal year, the Council received a further inquiry from an Owner regarding the possibility of installing a charging station.
- Council would like to revisit this to determine their feasibility at The Metropolitan.
- Any Owner(s) interested in working on a small investigation committee please contact Property Manager.



Window Survey by Council conducted in April 2022

- 72/132 responses
- 33 units have water leaking
- 45 units have air entering
- 55 units have condensation between windowpanes
- 38 units have mold
- 45 units have defective or no hardware
- 13 have other types of damage
- **In response to the survey, this past winter and spring 138 damaged handles were replaced by Strata in 45 units at the cost of about \$2000. The faulty hardware prevented many windows from operating properly, causing rain, wind & cold air to enter the units.**



BYLAW UPDATES

- Simple correction to an internal reference in Bylaw 4.3.
- Rental restriction bylaws to be removed in compliance with new Provincial legislation amendments.
- Adding 'heat pump' to the list of alterations requiring Strata Council approval as it requires a permanent alteration to the building envelope.
- Introducing an updated emergency contact form to be completed by all residents.



Ongoing issues:

• Roof Replacement Project

- The existing roof, at about 33 years old, is now well beyond its natural life. Water-related problems are increasing in frequency and are costly to fix. At the November SGM, the Owners approved a resolution to address the replacement of the roof and repairs to the related portion of the building envelope. A Special Levy to cover the costs is being collected from the Owners over a 10-month period.
- The Strata Council awarded the roof deck contract to *Solid Ground Contracting*, but work cannot commence until the City of Burnaby issues a building permit. The permit application was submitted to the City in January 2023.
- **NOTE:** It is preferred that the roofing project commence in the dry weather months to minimize disruption to Owners and extension of project time frame due to severe weather interruptions.



• Elevator Modernization Project

Owners have partially funded this project via Special Levy; identified unanticipated shortfall to be funded by CRF. Commencement delayed several months. Waiting for City of Burnaby to issue a building permit. Also waiting for delivery of significant parts being built and shipped from overseas which are delayed due to supply chain issues, common to the industry.



Window Replacement & Building Envelope

- See Depreciation Report pp A-12 to A-14 for full scope and description
- In 2019 we replaced 321 failed IGUs, 72 sets of hinges, and 2 handles, at a reported cost of \$142,974.
- Replacing failed IGUs (ie. foggy, water condensation between the windowpanes) does not address the active water ingress and compromising of the building envelope.



• Window Trial Project

- Strata Council engaged Sense Engineering to assist them in connecting with the appropriate contractor to conduct a window trial project that will complete systematic water testing at three sample window locations to identify the sources causing active water ingress and to develop a repair plan.
- Sense Engineering provided a summary of five bids for the trial window repairs with the lowest bid being \$49,940 and the highest \$150,000. The total cost including set-up, engineering, water testing, and contingency totals \$83,000 by the lowest bidder.
- The Strata Council feels that this project must proceed as it is the only way for the Strata Owners to get a sense of the actual scope of work required and associated costs to complete all building envelope window repairs.

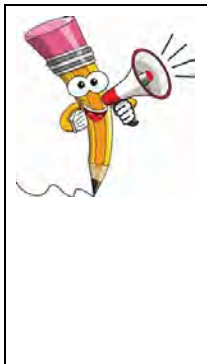


Strata Council Election: Bylaws provide for max of 7 persons.

The current 7 members of council have each indicated that they will stand for re-election:

- | | |
|-------------------|--------------------|
| • Alice Crestejo | • Graeme Smith |
| • Arlene Henry | • Sharon Straathof |
| • John Mather | • Mabel Tam |
| • Zoran Milisevic | |

An election will be held at the AGM if additional Owners are nominated to serve on Council.



WE HEARD YOUR FEEDBACK – This AGM meeting:

- You will hear us (we have microphones)
- Will not be as chaotic (as we know better **and** expect better from each of you)
- Will be conducted without Interpreters.
- Will be supported by **Townhall Info Meetings** held in the Lobby on:
 - o Wednesday, **July 5, 2023**, at 7:00 p.m. in Cantonese and Mandarin; and
 - o Thursday, **July 6, 2023**, at 7:00 p.m. in English.



Submitted for the Annual General Meeting of NW5533 scheduled for July 11, 2023.

With respect,

Arlene Henry

President & Privacy Officer, Strata Council

Attached: Sense Engineering Heat Pump Report



July 13, 2023

The Owners, Strata Plan NW 3355
c/o FirstService Residential
700-200 Granville Street
Vancouver, BC V6C 1S4

Attention: Beverly Kapush, Strata Manager

Email: Beverly.Kapush@fsresidential.com

Dear Beverly,

Re: The Metropolitan - 5885 Olive Avenue, Burnaby
Heat Pump Installation Guideline

Sense's Project No. 18R085J

We are pleased to provide you with the attached Heat Pump Installation Guideline for The Metropolitan at 5885 Olive Avenue, Burnaby.

We trust you will find this guideline to be comprehensive, yet easy to understand, and useful as a tool to assist owners in installing air conditioners at The Metropolitan.

Thank you for your business and we look forward to hearing from you.

Yours truly,
Sense Engineering

A handwritten signature in black ink, appearing to be "Al".

Alexandra Lau,
Project Associate (587) 896-6767

A handwritten signature in black ink, appearing to be "Bh".

Brennan Vollerling, M.A.Sc., P.Eng., LEED AP
Project Manager (604) 365-3664



HEAT PUMP INSTALLATION GUIDELINE

THE METROPOLITAN – 5885 OLIVE
AVENUE, BURNABY

PREPARED FOR:

The Owners, Strata Plan NW 3355
c/o FirstService Residential
700-200 Granville Street
Vancouver, BC V6C 1S4

PREPARED BY:

Sense Engineering Ltd.
104 – 788 Copping Street
North Vancouver, BC V7M 3G6

July 13, 2023

18R085J



EXECUTIVE SUMMARY

The Owners of Strata Plan of NW 3355 retained *Sense Engineering* to prepare this Heat Pump Installation Guideline for The Metropolitan at 5885 Olive Avenue, Burnaby. The primary purpose of the guideline is to provide homeowners with consistent direction for safe and effective installation of air conditioning that minimizes the impacts on building appearance, noise, envelope and structural performance, and cost.

Recommended guidelines are as follows:

Guideline 1 - Ductless Split Systems and Interior, Dual Vent Heat Pumps Can be Installed at the Building: Ductless split system heat pumps can be installed by individual owners where there is patio, balcony, or roof deck space available to place outside units. Where suites do not have exterior space, interior placed dual vent heat pumps could be installed to provide cooling. Equipment sound generation limits need to be followed and vibration isolation equipment needs to be installed so neighbors are not disturbed. Owners should avoid locating interior split system condensate pumps in bedrooms as the intermittent sound may be disturbing to suite occupants.

Guideline 2 - Outdoor Units Should be Placed to Avoid Climbing Hazards not Impact Usability of Balconies: Split system heat pumps should be placed on balconies and roof decks away from railings, where possible. Where located close to railings, outdoor units will need to be covered to eliminate climbing hazards. Outdoor units should be placed to not interfere with door operation, kept clear of obstructions for proper operation. The impact of warm air generated by the exterior unit on balcony occupants should be considered when placing unit. Interior pump systems should be located similarly across building floors to maintain a consistent building appearance.

Guideline 3 - Route Connections for Equipment Discretely: Most split system heat pump penetrations in the building envelope will need to be located through exterior wall areas of balconies. Line sets that run along the balcony walls should be covered with colour matched PVC or metal covers to reduce impact on building appearance. Once inside the suite, refrigerant and power lines connecting interior and outdoor units can be covered in accordance with owner's preferences and budgets, but existing drywall bulkheads and drop ceilings should be used where possible to minimize costs and aesthetic impact.

Guideline 4 - Retain a HPO Contractor for Envelope Penetrations: Exterior wall and window penetrations must be completed by a HPO registered building envelope contractor under the direction of a building envelope consultant.

Guideline 5 - Do Not Damage Building Structure: Installation cannot compromise the building structure. Coring through concrete walls or wall studs is not permitted and coring through concrete floors cannot damage reinforcing steel or be adjacent to columns. Scan walls and floors before coring.

Guideline 6 - Manage Condensate: To reduce costs and interior noise generated by condensate pumps, owners should locate indoor units close to exterior walls and gravity drain condensation where possible. Where pumps are required in bedrooms, they should be located inside insulated boxes to minimize sound disturbance to suite occupants. Outdoor units need to include evaporation pans to disperse condensate into the air.

Guideline 7 - Laterally Support Outdoor Units: Outdoor units need to be laterally supported by connecting the unit to exterior wall structure. Wall penetrations for lateral support need to be completed by an HPO registered building envelope contractor.



Guideline 8 – Obtain Council Approval and Permits Before Proceeding: Owners need to obtain council approval and permits need to be applied for by the Owner's contractor before proceeding with installation of heat pumps.

Guideline 9 – Install Energy Efficient Equipment: Energy efficient heat pumps meeting provincial grant requirements on energy efficiency shall be used. Unfortunately, strata owners will not likely qualify for grants, but provincial requirements contain good equipment criteria for owners to follow.

Guideline 10 – Equipment Should Use Low Global Warming Potential Refrigerant: Heat pump refrigerants should minimize global warming potential. Industry plans to introduce equipment that can operate with more environmentally friendly refrigerants in the next 1 to 2 years. Owners should ask installers for environmentally friendly equipment. Council should also review proposed equipment in relation to industry state of the art, as requests for installations are submitted.

Guideline 11 – Maintain Equipment: Maintenance needs to be completed to equipment at least once per year by a licensed mechanical contractor with Municipal Heat Pump Certification.

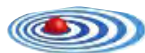


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APPENDICES

- Appendix A – Building Plans
- Appendix B – Sample Envelope Penetration Detail
- Appendix C – Sample Heat Pump Literature
- Appendix D – Limitations



1.0 BACKGROUND

The Metropolitan is a 25 storey concrete tower with 132 residential suites. Construction of the complex was completed circa 1991.

Some owners want to install air conditioning and the Strata Council would like assistance with preparation of guidelines that Owners would need to follow to reduce the impact on the environment, building appearance, noise, building envelope and structural performance, costs, and maximize air conditioning performance.

Centralized cooling systems are not considered in this report.

There are four general layouts for lower suites (i.e., not Penthouses):

- **Suite Type A and A1:** These suites are located on the west side of the building and have a west facing balcony, two bedrooms, two bathrooms, a living room/dining room, and kitchen/nook. Some suites have french doors opening into the 2nd bedroom, while others do not.
- **Suite Type B and B1:** These suites are located on the east side of the building. These suites are arranged the same as the Type A suites and have east facing balconies.
- **Suite Type C:** These suites are located on the south side of the building, having south facing balconies. They have the same number of rooms as Suite Type A and B, but are arranged differently than these suites.
- **Suites Type C1:** These suites are located on the north side of the building and have a sunroom instead of a balcony. These suites are arranged similarly to the Type C suites.

There are two general layouts for penthouse suites:

- **Penthouse 2 and 5:** These are two level penthouses with a sunroom on the lower floor and a roof deck on the upper floor. These suites are located on the north and south building elevations.
- **Penthouse 1, 3, 4, and 6 :** These are two level penthouses with roof decks on both floors. These suites are located on the east and west building elevations.

2.0 SENSE ENGINEERING'S SCOPE OF REVIEW

Based on authorization received on April 4, 2023, we completed the following, as per our proposal dated April 3, 2023:

- Provided confirmation that ductless split system heat pumps can be installed in the suites, or if another system is more appropriate.
- Provided commentary regarding alterations to the building structure including coring holes in framing elements. As part of our review, we provided commentary regarding the best placement of supply/return lines through building envelope to minimize disturbance to building structure.
- Provided typical concept details showing repair of penetrations through the building envelope to help prevent water ingress and uncontrolled air exchange/drafts.



Photo 1: Aerial photo of The Metropolitan



- Provided recommendations on placement of indoor units to provide effective cooling and control noise transmittance across unit separations.
- Provided recommendations on where outdoor units (i.e., compressors) should be located including requirements to avoid climbable elements near balcony railings.
- Outlined how interior and outdoor units should be drained.
- Confirmed if current electrical supply is sufficient to accommodate power consumption requirements of exterior and indoor units.
- Provided guidelines on routing power to equipment.
- Recommended procedures for drawing submissions, permitting, and the strata council approval process.
- Provided recommended installers.
- Advised on environmental considerations.

We completed our site review on April 14, 2023. Sean Pesut of Ashton Mechanical, Brennan Vollering, and Alexandra Lau of *Sense Engineering* completed the site review.

3.0 INSTALLATION GUIDELINES

3.1 Recommended Equipment

The Metropolitan suites are currently electrically heated and there are no forced air ducts except those connected to bathroom fans, clothes dryers, and kitchen range hoods. For this reason, incorporation of a ducted air conditioning system would be disruptive, and expensive as ducts would need to be built throughout the suites to distribute conditioned air. A simpler and more effective method to provide conditioned air to individual suites is with the installation of a ductless, split systems where there is balcony, patio, or roof deck space available, or interior heat pump systems at suites with no patio, balcony, or roof deck space.

Split System Heat Pumps (for Suites with Balconies, Roof Decks, and Patios)

Ductless systems consist of a compressor unit that is located outdoors (called the outdoor unit in this guideline. See Photo 2) that is connected to fans (called indoor units in this guideline. See Photo 3) that blow interior air across cooled or heated coils to change the interior air temperature. The outdoor unit is connected to the indoor units by refrigeration lines that are installed inside walls or dropped ceilings. Power is delivered to the outdoor unit by a wire from the suite electrical panel and indoor units are powered by the outdoor unit.

Split systems are typically more efficient and environmentally friendly than other air conditioning systems, making them a sound heating and cooling choice, particularly in British Columbia where there is abundant renewable hydro-electric power for electric heat pump systems.

The size of the outdoor unit will depend on the number and size of the rooms to be cooled (i.e. the number and size of the indoor units being installed), but in most cases equipment should have around 24k BTU capacity. The size of the outdoor unit should be confirmed at the time of system design based on the number of indoor units.

In general, one outdoor unit per suite will be sufficient to support all the indoor units likely to be selected by owners.



Outdoor Unit

Photo 2: Example of outside unit.



Photo 3: Example of wall mounted inside unit.



As a rough guideline, the following sizes of indoor units should be sufficient for the corresponding rooms:

Table 1: Indoor Unit Capacity for Various Room Sizes

Room Size	Cooling Capacity
Small Bedroom	6k BTU
Medium Sized Living Room or Bedroom	9-12k BTU
Large Living Room	18k BTU

Indoor units can be wall mounted, floor mounted or mounted in ceilings, but for most applications at The Metropolitan, wall mounted units are appropriate and cost efficient. The indoor units should be mounted higher up on walls, but at least 150 mm below the ceiling level, so airflow is not blocked by furnishings and sufficient airflow to unit is maintained. We recommend indoor units be located so that airflow does not directly blow onto occupants (e.g., avoid indoor units directly above beds or sitting areas). Instead, install indoor units at the side of beds, and side of sitting areas.

The close proximity of suites at The Metropolitan makes specification of quiet and low vibration equipment desirable to prevent disturbance to neighbors as well as room occupants. Mitsubishi and other major manufacturers offer outdoor units that produce less than 55dB (the sound amplitude equivalent to a quiet conversation) that is well suited for The Metropolitan. Mitsubishi indoor units produce 20dB to 45dB depending on the airflow, which is equivalent to ambient sound in a library. These decibel ratings should be used as a guide when selecting equipment. Isolation seats that typically come with most units should be installed at all exterior and indoor units to prevent equipment vibration from travelling through building structure and partition walls.

Indoor units will create condensation when in cooling mode. Condensate pumps that remove this water should be avoided in bedrooms as they do create intermittent sound that may disturb residents (condensate pumps generally produce the most noise of all the split system equipment). If condensation pumps are found to be required in rooms where intermittent noise is not desired, locating pumps in insulated boxes and closets will minimize noise transmission into bedrooms.

Interior Contained Dual Vent Heat Pumps (for Suites without Balconies, Roof Decks or Patios)

Split system heat pumps are not an option for suites without exterior space for locating the outside unit (i.e., the Type C1 units on the north side of the building). For these cases, in-suite, dual vent heat pump systems are available (See Photo 4). These systems are not as frequently installed as split systems in the Lower Mainland, but are available (see Appendix C for Innova equipment as an example). These systems typically have lower capacity than split systems and need to be located just inside the envelope penetration, making distribution of cooling throughout larger suites more challenging.



Photo 4: Example of interior contained heat pump.

Similar to split system heat pumps, these units are relatively quiet and energy efficient. These systems are often powered by a plug into existing receptacles and do not require an electrical permit. Condensate is generally managed by an evaporator that releases moisture back into the suite or can be drained to the building exterior.



Portable Air Conditioners

Other types of air conditioning systems that can be installed by individual owners and that are readily available include portable air conditioners. Portable air conditioners typically have a single exhaust hose that passes through an openable window or door. A motor in the unit cools a refrigerant inside a coil where interior air is blown over by a fan, creating cooled interior air. Heat that is generated by the equipment and taken out of the interior air by the refrigerant is exhausted to the exterior through the exhaust hose.

By comparison, split systems or interior-contained dual vent heat pump systems have the following advantages over portable units:

- Split systems are able to provide cooling throughout large suites via refrigerant and power line sets that connect the outside unit to multiple remote inside units. Portable units, similar to dual vent heat pumps, just provide cooling locally where the unit is placed, although dual vent systems can typically cool larger spaces compared to single vent units.
- Portables are typically much louder than split systems. Some dual vent heat pumps also create noise, so picking a unit that produces less noise than indicated above is important.
- Because single vent portable units only exhaust interior air, negative pressure can be created inside the suite, which can cause hot exterior air or hot air in corridors to enter the suite, impacting the efficiency of the unit.
- The split system heat pumps and dual vent heat pumps are generally more energy efficient than portables.

While not related to portable units, split systems provide more effective heating than baseboard heaters as they blow/distribute heated air compared to convective baseboards.

While it is technically possible to install both split system and dual vent interior heat pumps in a suite, most owners will find it most practical to install a split system if there is outside space where the outside unit can be placed. Some owners may prefer to install a dual vent interior heat pump to avoid building permit delays; however, the City of Burnaby has recently dropped the building permit requirement for heat pump installation (mechanical trade permits are still required) to shorten the process, so installing a system best suited for the suite is recommended (see Permitting Section below)

Guideline 1: Ductless split system heat pumps can be installed by individual owners where there is patio, balcony, or roof deck space available to place outside units. Where suites do not have exterior space, interior placed dual vent heat pumps could be installed to provide cooling. Equipment sound generation limits need to be followed and vibration isolation equipment needs to be installed so neighbors are not disturbed. Owners should avoid locating interior split system condensate pumps in bedrooms as the intermittent sound may be disturbing to suite occupants.

3.2 Installation Location

Appendix A shows typical floor plans for suites at The Metropolitan.

For all suites with a balcony, roof deck, or patio, the outside unit of a split system are shown at these outdoor spaces. Options for indoor units are shown in bedrooms, and in main living spaces.

For Type C1 suites where there is no balcony/patio space, interior contained heat pumps will need to be located at the interior side of living room or bedroom windows.



Split System Heat Pumps

Generally, the balconies are large enough that outdoor units can be located away from railings so a climbing hazard is not created. If outdoor units are located close to railings, the top of the outdoor units should be raised to the same height as the balcony railings to avoid climbing safety issues.

There are Building Code requirements regarding climbing hazards close to guards, so to manage safety risks, a sheet metal cover should also be attached to the unit to cover foot and hand holds when a unit must be adjacent to a railing.

Where possible, outdoor units should be located under cover, as reducing the sun falling around the unit will improve efficiency and protect the unit from weather.

Although the outside units are intended to get wet, service life is expected to increase if units are protected from weather. See Photo 5 for a diagrammatical image of a suitable equipment location.



Photo 5: Typical balcony location for outdoor unit and lines connecting indoor and outdoor units.

Outdoor units require clear space to perform properly. No furniture or obstructions should be placed within:

- 100 mm (4 in) from the rear side
- 350 mm (14 in) from the side of electrical and refrigerant connections (left or right)
- 100mm (4 in) from the side without connections
- 500 mm (20 in) from the front side

Outside units will blow warm air when in cooling mode and placement of outside units should consider what balcony spaces are typically used in the summer. The fan of the outside unit should not be directed at areas where people typically sit on balconies, where possible.

Interior Contained Heat Pumps

Interior contained heat pumps will need to be located at the interior side of the building envelope. Envelope penetrations should be through the bottom windows of bedrooms or living rooms or through knee walls below windows. Units should be installed in rooms where cooling is most desired by the owner. Replacing one of the small, lower bedroom or living room windows with an insulated metal panel for penetrating through would be the simplest penetration detail (see Photo 6 for an example of penetrations in a metal panel). Units should be located consistently across floors to maintain a uniform building appearance. The insulated metal panel will prevent excess heat loss when compared to a non insulated metal panel.



Photo 6: Exterior of an interior contained heat pump penetrating a metal panel below a window.

Guideline 2: Split system heat pumps should be placed on balconies and roof decks away from railings, where possible. Where located close to railings, outdoor units will need to be covered to eliminate climbing hazards. Outdoor units should be placed to not interfere with door operation, kept clear of obstructions for proper operation. The impact of warm air generated by the exterior unit on balcony occupants should be considered when placing unit. Interior pump systems should be located similarly across building floors to maintain a consistent building appearance.



3.3 Equipment Connection

Split System Heat Pumps

Refrigerant and electrical lines can typically be routed from the outdoor to the indoor units through an exterior wall penetration. At balconies, penetrations could be located through stucco close to existing exhaust vents to take advantage of existing drywall bulkheads inside units, reducing the cost of interior finish repairs (See Photo 7).

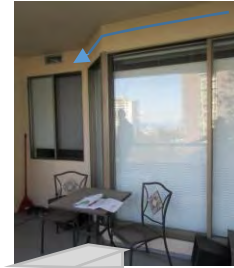


Photo 7: Typical location for wall penetration and line set at balconies.

Line sets between the outdoor unit and the envelope penetration should be routed discreetly under the balcony soffit inside aluminum or PVC covers matching the stucco colour, penetrate the building envelope through stud framed stucco exterior walls. Penetrating exterior walls with concrete contained inside should be avoided. Stucco walls above windows and doors typically do not have concrete inside so these areas are suitable for building envelope penetration. Once inside the building, the refrigerant lines can run along bedroom or living room walls to indoor units. Additionally, for penthouses, line sets should run from the upper level roof decks, through floor slab penetrations, to the lower level rooms. Floor slabs should be scanned before coring so cutting and damaging slab reinforcing is avoided. Lower penthouse floors have drop ceilings that can be used to route line sets to interior units.

Electrical service can be routed from each unit's electrical panel typically located near the open dining and living room area and run along living room or bedroom walls to the outdoor unit. For penthouses, electrical service will be routed from each unit's electrical panel located near lower floor bedrooms, through the floor slab penetration and run along living room or bedroom walls to the outdoor unit. The existing electrical service should be sufficient to power the new equipment so no electrical upgrades should be required. If there are power concerns, base board heaters that will no longer be used based on heat pump heating can be disconnected to provide power.

Once inside the suite, refrigerant lines should be routed inside existing drywall bulkheads along the perimeter of bedrooms to minimize interior re-finishing costs (See Photo 8). Where bulkheads or drywall ceilings do not exist, new drywall enclosures can be installed at wall to ceiling corners to conceal refrigerant and power lines, providing a seamless appearance. Alternatively, crown moldings or plastic covers can be used to cover refrigerant and power lines if the owner finds the appearance acceptable. Routing of refrigerant and power lines are indicated in Appendix A.

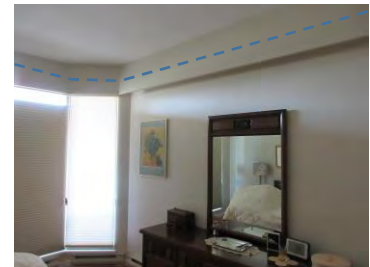


Photo 8: Existing bulkheads should be used where possible to hide lines sets and minimize re-finishing costs.

All refrigerant lines should be insulated to improve efficiency and reduce the risk of condensation issues. Line insulation on the exterior should be covered with PVC covers to protect insulation from UV and bird related damage.

Interior Contained Heat Pumps

Connection of interior contained heat pumps is relatively simple compared to split systems and generally just requires a plug into an existing receptacle.



Guideline 3: Most split system heat pump penetrations in the building envelope will need to be located through exterior wall areas of balconies. Line sets that run along the balcony walls should be covered with colour matched PVC or metal covers to reduce impact on building appearance. Once inside the suite, refrigerant and power lines connecting interior and outdoor units can be covered in accordance with owner's preferences and budgets, but existing drywall bulkheads and drop ceilings should be used where possible to minimize costs and aesthetic impact.

3.4 Making and Sealing Building Envelope Penetrations

Split system penetrations through the exterior walls to the indoor unit(s) should be air and water sealed. For all lower suite and some penthouse locations this can be facilitated by installing a thermo-thimble to run the line sets through exterior walls and detailing the penetration to provide an airtight seal and to divert water away from the area. Where possible penetrations should be located under cover to reduce weather exposure and the risk of water ingress. Refer to Appendix B for concept penetration detail through exterior stucco for reference.

Building envelope penetrations for interior heat pumps should be done by replacing a small glass panel with an insulated metal panel with pre-made penetrations that can be sealed to the heat pump vents.

Exterior wall and ceiling penetrations should be completed by a HPO registered building envelope contractor under the direction of a building envelope consultant. In most cases, this will mean that an owner should confirm that their mechanical contractor is carrying a sub-trade for completed building envelope alternations and that a building envelope consultant is reviewing the work to confirm alternations done are appropriate.

See <https://licensedbuilderregistry.bchousing.org/> for BC Housing's registry of Building Envelope Renovators.

Guideline 4: Exterior wall and window penetrations must be completed by a HPO registered building envelope contractor under the direction of a building envelope consultant.

3.5 Building Structure Considerations

Split system installations will require coring through exterior walls at lower suites and through floor slabs for penthouses. Wall cores should avoid areas where a concrete wall or column is concealed so the building structure is not compromised. Coring through steel stud framed walls is appropriate provided steel studs are not damaged. As such, steel studs should be located by the contractor before cores are made. Exterior wall areas above balcony doors and windows are generally stud framed, so penetrations should be limited to these areas.

Cores through floor slabs at penthouses should avoid cutting and damaging slab reinforcing by having slabs scanned with GPR or similar equipment (not x-ray). Cores should also not be located directly beside columns where the shear capacity of the floor could be compromised.

Guideline 5: Installation cannot compromise the building structure. Coring through concrete walls or wall studs is not permitted and coring through concrete floors cannot damage reinforcing steel or be adjacent to columns. Scan walls and floors before coring.



3.6 Managing Condensate

Split System Heat Pumps

Ductless split systems will create condensation at indoor units when in cooling mode and at the outdoor unit when in heating mode. For this reason, indoor units will need to be drained to existing plumbing or to the building exterior. This can be done via gravity where indoor units are located close to the building exterior or interior sanitary plumbing. Where indoor units are located remotely from existing plumbing pumps will need to be installed to push the condensate to locations where the water can be drained.

In general, the indoor units indicated in Appendix A are located to minimize the need for pumps by locating units close to exterior walls (i.e., so units can be gravity drained to the building exterior), but there are some locations where pumps are required, particularly at penthouse lower level bedrooms. Because pumps will create intermittent noise that might disturb sleeping occupants, we recommend they be installed inside insulated boxes to minimize noise transmission in bedrooms. A service hatch will need to be installed to allow access for pump maintenance.

Outdoor units should include an evaporation pan to disperse condensate from the system into exterior air.

Interior Contained Heat Pumps

In general, these units are installed for cooling only, although they can be installed for heating as well, provided condensate lines are installed to existing plumbing. In cooling mode, these systems are typically installed with evaporators that release condensate back into the suite, so plumbing connections are generally not required.

Guideline 6: To reduce costs and interior noise generated by condensate pumps, owners should locate indoor units close to exterior walls. Where pumps are required in bedrooms, they should be located inside insulated boxes to minimize sound disturbance to occupants. Outdoor units should include evaporation pans to disperse condensate into the air.

3.7 Laterally Support Equipment

Split System Heat Pumps

Many municipalities are now requiring that outdoor units be fixed to the building rather than simply supported by pedestals. The reason for this is so refrigerant leaks and electrical hazards are not created if the unit falls on its side during an earthquake or during high winds. Equipment can be fixed to the buildings to prevent overturning by anchoring to the floor or wall structure. As there is more risk of creating water leaks by penetrating waterproofed horizontal surfaces, lateral support should be provided by anchoring the outdoor unit to wall structure. Similar to line set penetrations in the building envelope, the penetrations for outdoor unit lateral support should be completed by an HPO registered building envelope contractor.

Guideline 7: Outdoor units need to be laterally supported by connecting the unit to exterior wall structure. Wall penetrations for lateral support need to be completed by an HPO registered building envelope contractor.



3.8 Permitting and Council Approval

At the time of writing this report, the City of Burnaby does not require a heating system permit and building permit for installation of ductless, split heat pump systems.

Aside from permitting requirements, we recommend that the Strata create a by-law requirement that owners obtain Strata approval before proceeding with installation so confirmation that proper procedures are being followed. Strata approval may require the following submissions:

- The company name of the installer including a copy of their general liability insurance certificate,
- Confirmation of the installers Municipal Heat Pump Certification (MHPC or MHPCR). While certification is not currently required in the City of Burnaby, it is a City of Vancouver requirement and is an indication that the installer has some training in heat pump installation,
- The proposed equipment to be installed including performance specifications,
- A copy of the heating, electrical, and building permit, once it is received,
- Individual owner signed assumption of liability for equipment and alterations,
- The company name of the building envelope contractor including confirmation of good standing with the HPO certified building envelope renovation program and the building envelope consultant reviewing the work, and
- Upon completion of the installation, verification from the owner that the work has been completed in accordance with submittals.

Guideline 8: Owners need to obtain council approval and permits need to be applied for by the Owner's contractor before proceeding with installation of heat pumps.

3.9 Environmental Considerations

Energy efficient equipment should be used to help meet Provincial targets on energy use and to avoid the need for electrical panel upgrades. When selecting equipment, the following minimum performance criteria should be used as a guide:

Energy Efficiency Ratio (EER) greater than 11.5
Seasonal Energy Efficiency Ratio (SEER) greater than 14.5
Heating Seasonal Performance Factor (HSPF) greater than 7.1

Owners should be aware that installation may not qualify for grants due to energy efficiency improvement criteria for the entire Strata may not be reached by installing heat pumps at only a few units.

Variable speed compressors should also be installed to improve efficiency.

Refrigerant type should also minimize damage to the environment by having low global warming potential (GWP). Refrigerants, if allowed to leak from the system, can deplete ozone and cause global warming. Conventional refrigerants, such as R-410A (Puron) have high GWP and are being phased out to protect the environment. Heat pump systems should have refrigerants that have a lower GWP such as R-32, R-452B, R-454B, R-466A, when available.

Passive means of reducing the need for heating and cooling should also be considered. Improved insulating glazing units in windows can significantly reduce solar heat gain in units in the summer and reduce heat loss in the winter, for example.

Guideline 9: Energy efficient heat pumps meeting provincial grant requirements on energy efficiency shall be used.



Guideline 10: Heat pump refrigerants should minimize global warming potential. Industry plans to introduce equipment that can operate with more environmentally friendly refrigerants in the next 1 to 2 years. Owners should ask installers for environmentally friendly equipment. Council should also review proposed equipment in relation to industry state of the art, as requests for installations are submitted.

3.10 Maintain Equipment

Heat pump equipment needs to be regularly maintained in order for it function properly and to prevent building damage and disturbance to neighbors. Air filters need to be cleaned, condensate lines checked for blockage, refrigerant lines checked for leaks, electrical lines and connections checked for breaks, and fans checked for smooth/quiet operation. Manufacturer operational manuals should be checked for a list of recommended maintenance for specific equipment and maintenance and repairs need to be carried out by a licensed mechanical contractor with Municipal Heat Pump Certification. Maintenance needs to be performed a minimum of once a year.

Guideline 11: Maintenance needs to be completed to equipment at least once per year by a licensed mechanical contractor with Municipal Heat Pump Certification.

3.11 Recommended Installers

There are several contractors that have experience with installation of heat pumps in occupied strata buildings. The following contractors could be contacted:

Ashton Mechanical
Contact: Connor Williams
Contact Phone: (604) 816-6664
Email: connorw@ashtonservicegroup.com

Milani Plumbing, Heating & Air Conditioning
Contact: Chris Milani
Contact Phone: (778) 839-0195
Email: chrism@milani.ca

Refer to <https://www.teca.ca/quality-first-contractors.php> for a current list of mechanical contractors who have completed the Municipal Heat Pump Certification program.



4.0 CLOSING

We expect this guideline meets your immediate needs. Should you have any questions or concerns regarding this guideline, please feel free to contact us at the numbers below.

Yours Truly,
Sense Engineering



Alexandra Lau,
Project Associate (587) 896-6767

Permit to Practice No.1002213



2023-07-13

Brennan Vollerling, M.A.Sc, P.Eng, LEED AP
Project Manager (604) 365-3664



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LEGEND:

OUTDOOR UNIT

INDOOR UNIT

ELECTRICAL / REFRIGERANT LINE SET

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DRAWING TITLE
TYPICAL FLOOR PLAN

DRAWN BY: MJJ

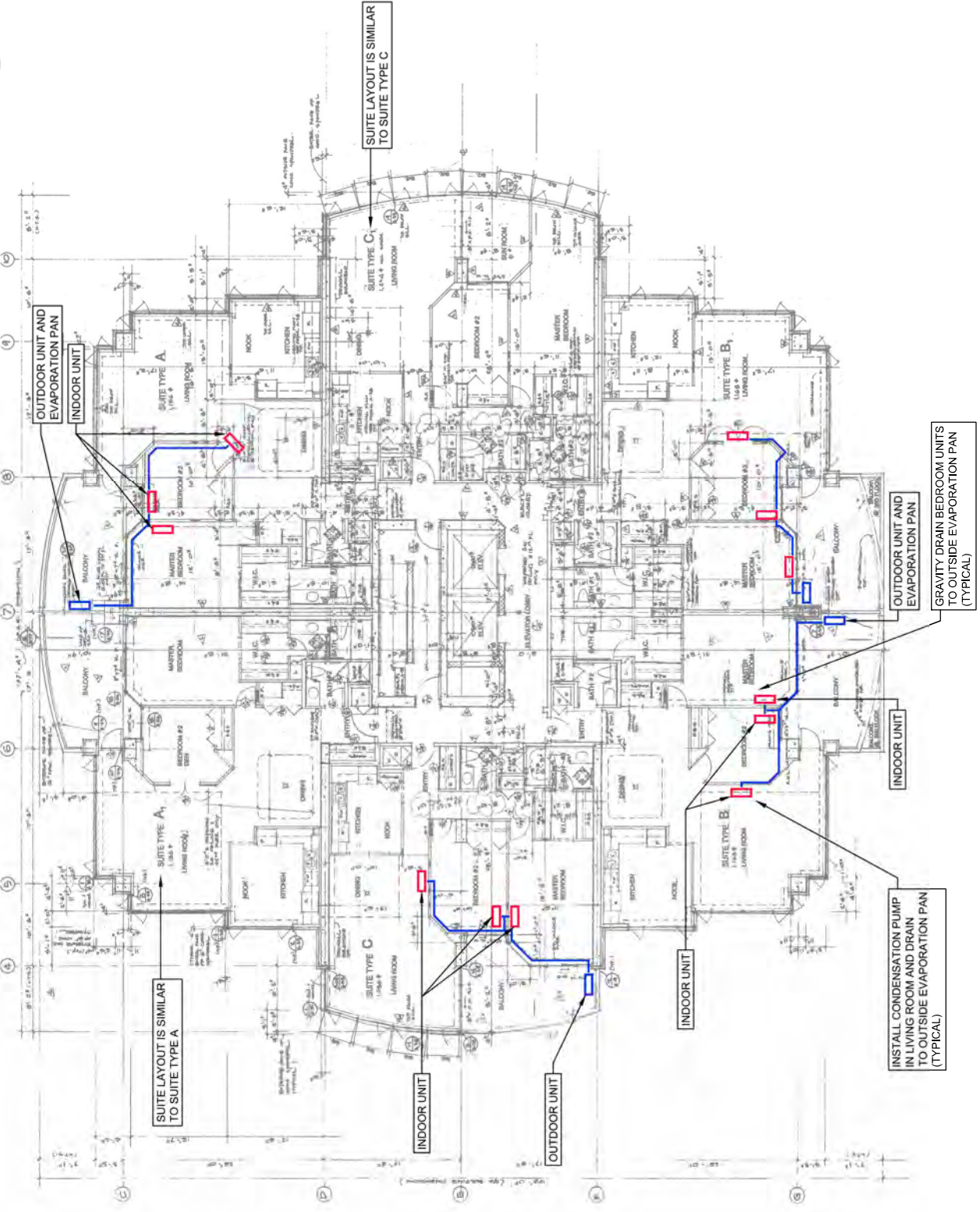
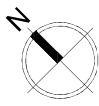
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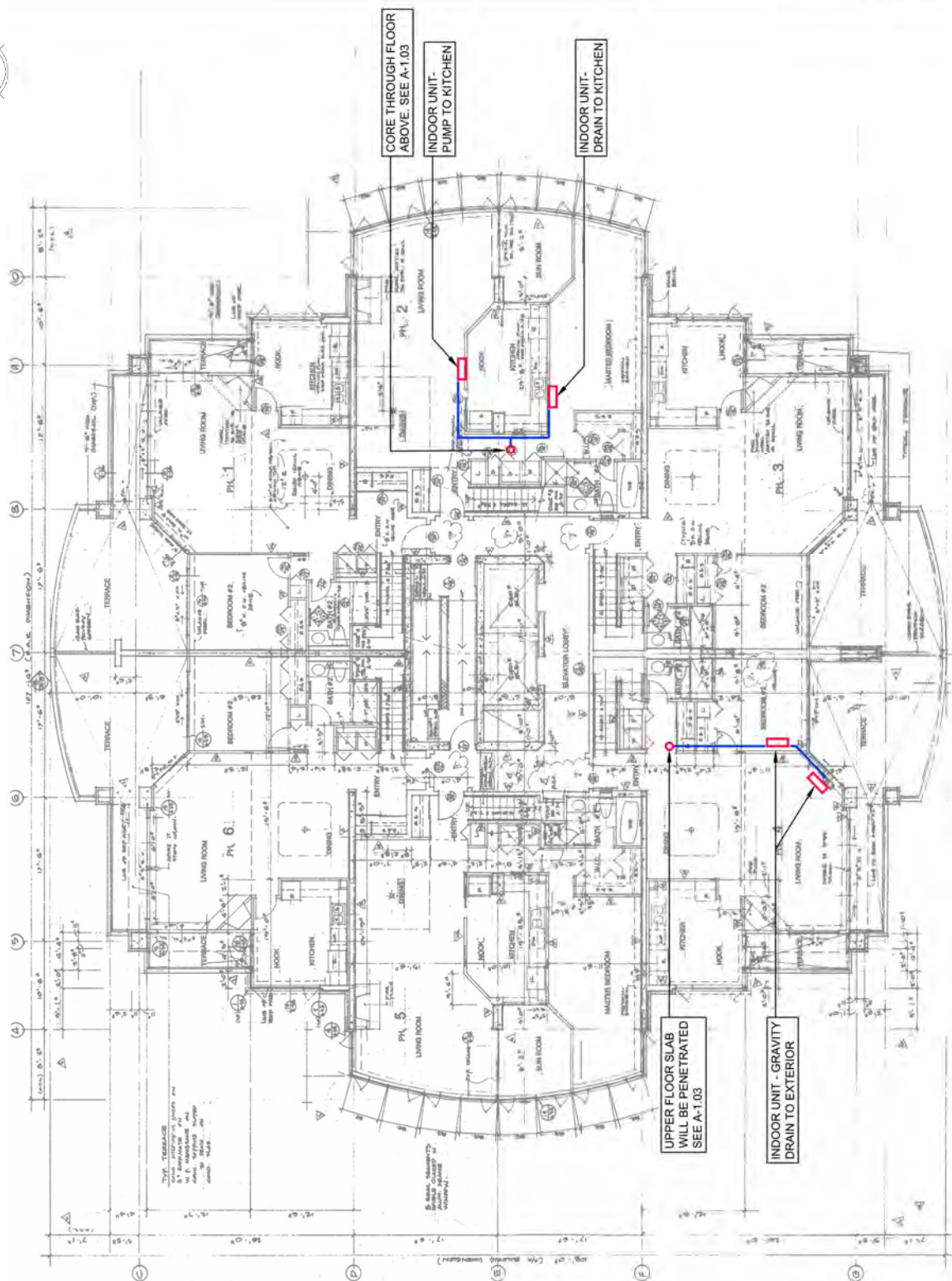
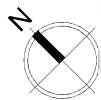
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PROJECT NUMBER
18R085J

DRAWING NUMBER
A-1.01





UPPER FLOOR SLAB
WILL BE PENETRATED
SEE A-1.03

INDOOR UNIT - GRAVITY
DRAIN TO EXTERIOR

CORE THROUGH FLOOR
ABOVE. SEE A-1.03

**INDOOR UNIT-
PUMP TO KITCHEN**

INDOOR UNIT-
DRAIN TO KITCHEN

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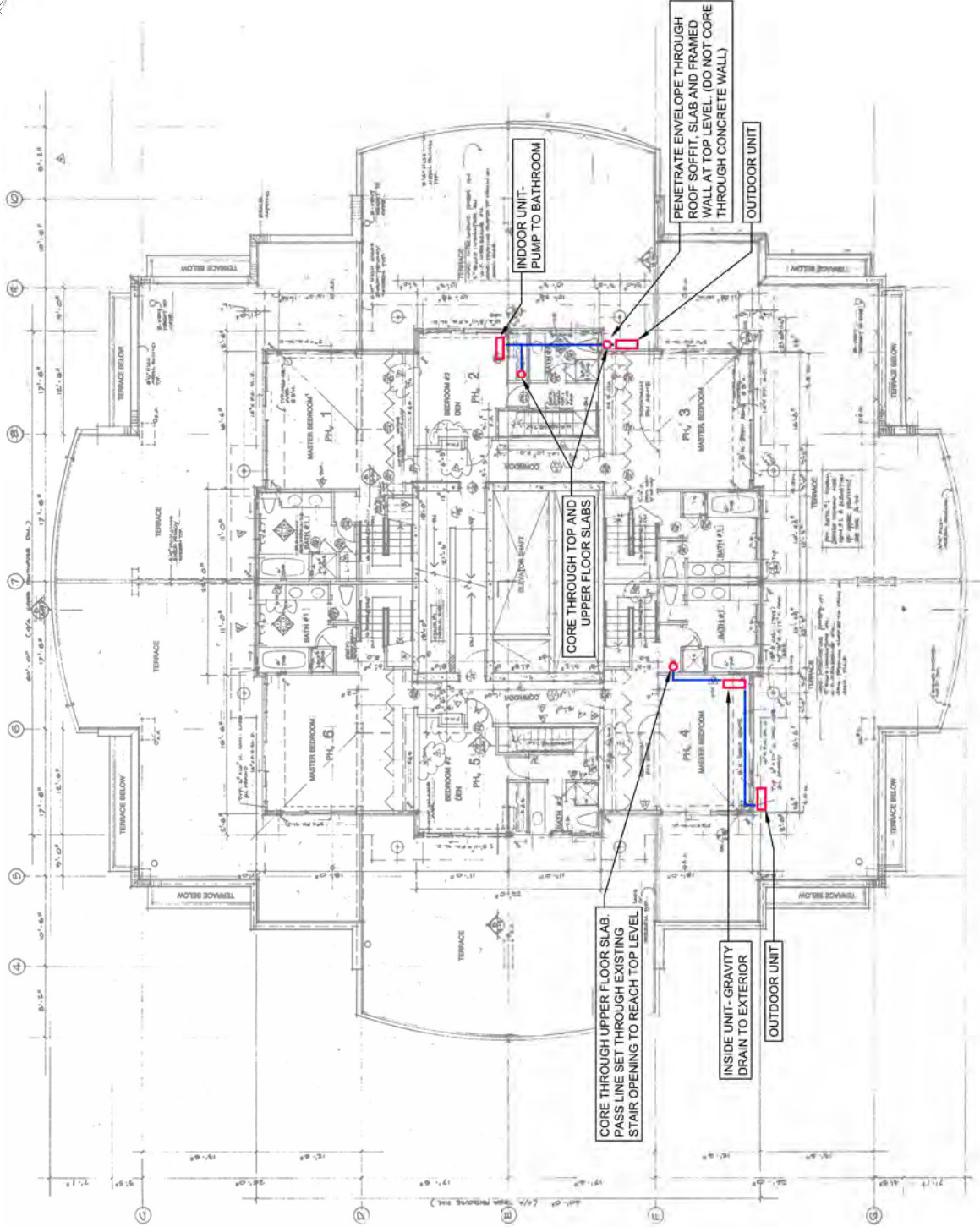
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LOWER PENTHOUSE FLOOR
PLAN

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<p>LEGEND:</p> <p>OUTDOOR UNIT</p> <p>INDOOR UNIT</p> <p>ELECTRICAL / REFRIGERANT LINE SET</p>			
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- SCAN SLABS BEFORE CORING. DO NOT CUT REINFORCING STEEL.

LEGEND:

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- INDOOR UNIT
- ELECTRICAL / REFRIGERANT LINE SET

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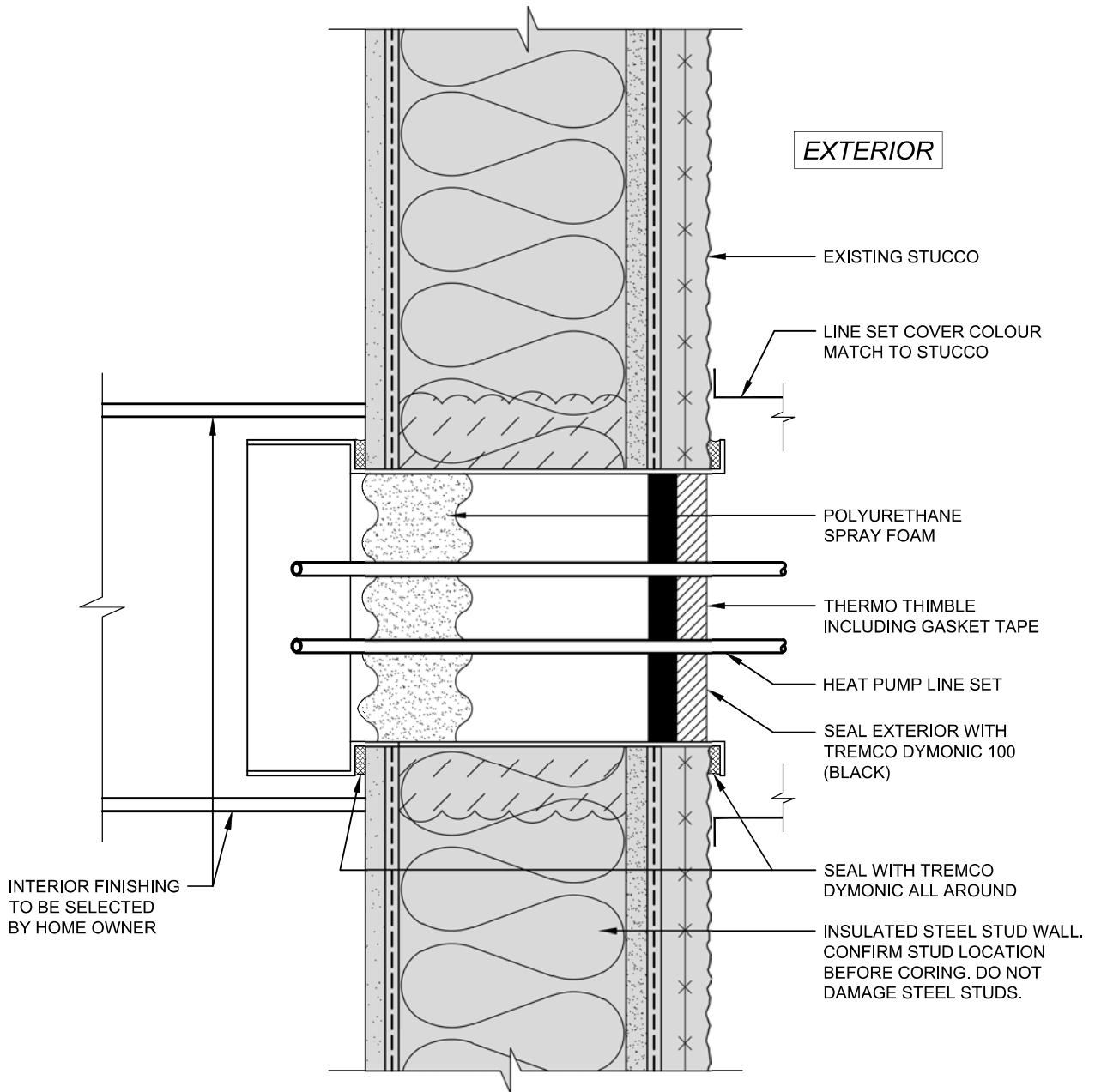


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DRAWING:

THE METROPOLITAN -
ENVELOPE PENETRATION DETAIL

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..2.0

Two holes, no
outdoor units



**Design should not beautify
but simplify.
We did it.**



..2.0



..2.0 VERTICALE





..2.0 MINI



..2.0

**Almost invisible, powerful,
noiseless and space-saving:
this is the INNOVA air
conditioner without an external
unit**

No more bulky and unsightly condensing units that ruin the appearance of a building. INNOVA has studied a high-efficiency solution with a hy-per-compact design and a minimal impact. Just 16 centimetres deep, super easy to install and with DC Inverter technology to optimize performance.

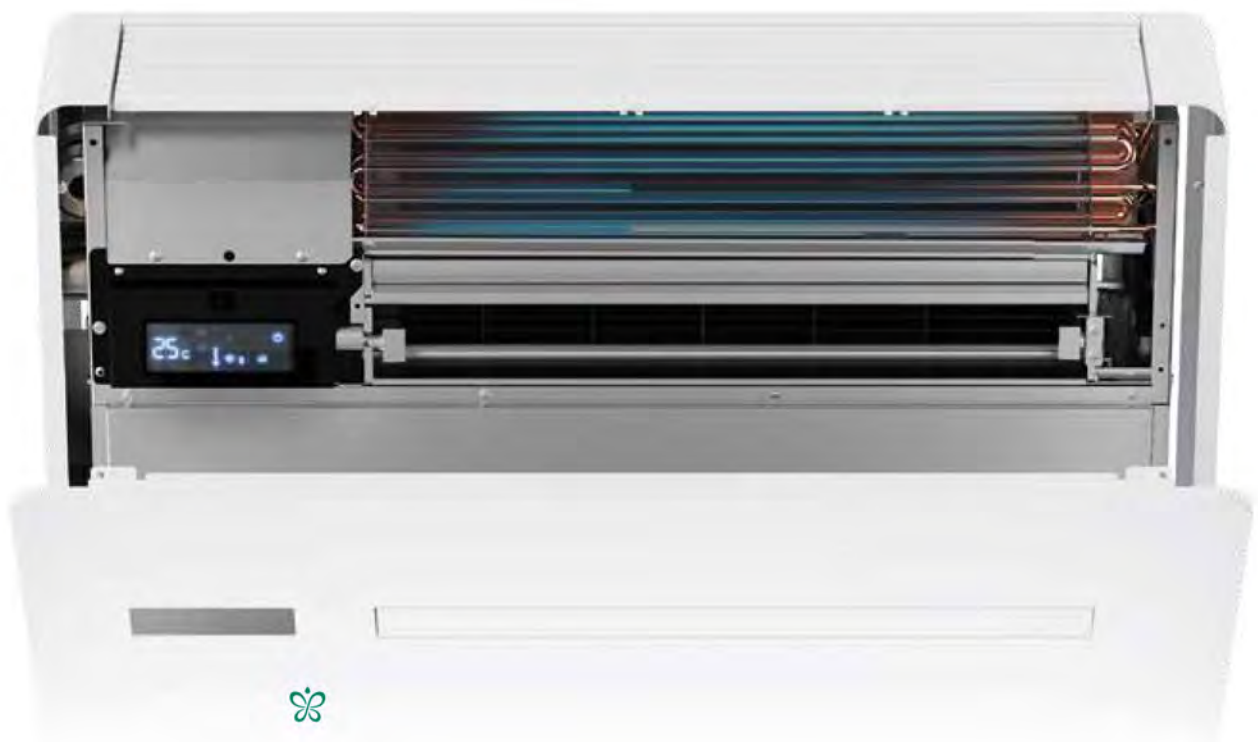
Optimized power, low consumption and low-noise operation

With DC Inverter technology, power is optimized to obtain maximum comfort with lower consumption and noise, and thanks to the Dual Power you can take advantage of the maximum power to reach the required temperature in the shortest possible time. Once reached, ..2.0 automatically adjusts to the comfort function.

Furthermore, the external grids are foldable: they open when the machine is in operation and close when it is off, so as to minimize dust, noise and pollution, maximizing well-being.

The ..2.0 MINI version is really eco-friendly because it uses R290 propane gas. Zero emission.

15 HP	.				.
12 HP	.	.	.		
10 HP	.	.	.		
9 HP				.	
8 HP	.				
	..2.0	..2.0 + FCU	..2.0 VERTICALE	..2.0 MINI	..2.0 H2O



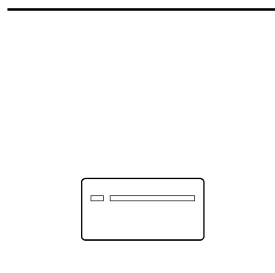


..2.0 + FCU

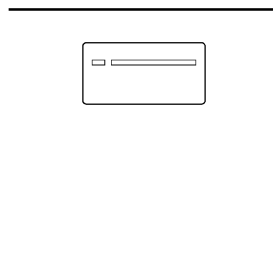
High on the wall or low on the floor?

..2.0 di INNOVA can count on a complete product range that allows you to find the right model for any type of in-stallation. All you need is an external wall and you will find the space to insert it at the top of the wall, at the bottom of the floor, in the corner or at the side of a French door.

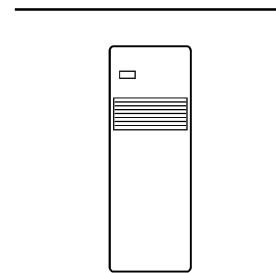
Down installation



Overhead installation



Side installation



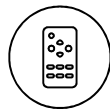
Control mode



Integrated touch-screen



Remote touch-screen

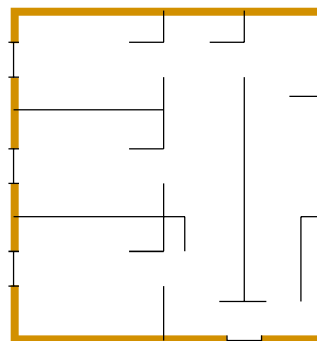


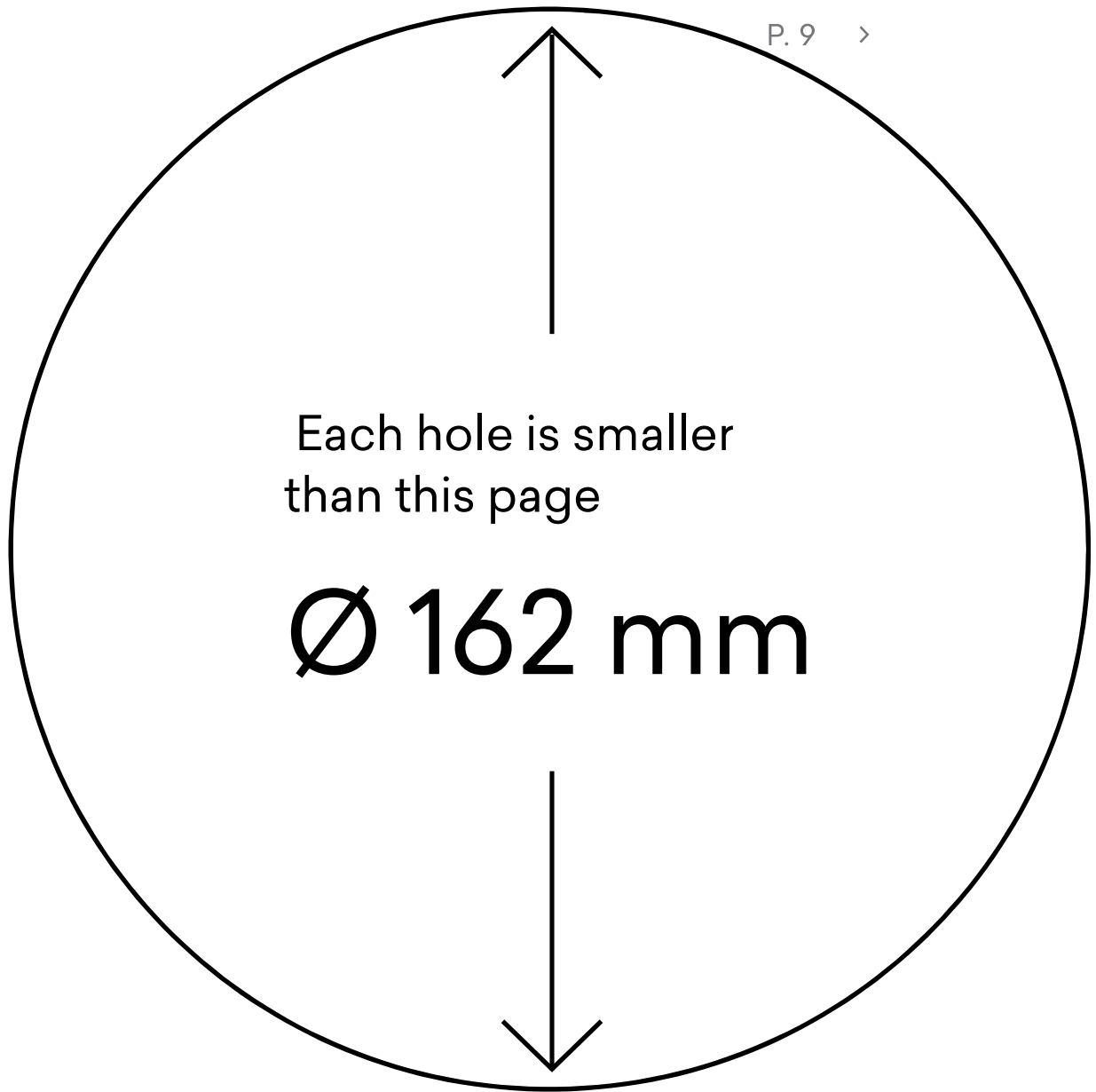
Handset control



iOS and Android APP

Perimetral installation







.20 MINI



Form follows function, hyper-compact design and no plastic

Minimum depth, the right colour, a perfectly smooth surface, an all-metal body... A product studied to integrate perfectly in any home delivering excellent performance and... blending in at the same time... For the horizontal and vertical developments alike, form and function come together in the tiniest design details of the [..2.0] in a perfect symbiosis.

..2.0 has a 100% metal body, strong and sturdy, solid and consistent. Dimensions of the unit has been reduced and optimized to include all the functions necessary for perfect function-ing within a hyper-compact design.

The depth? Just 16 centimeters. An ultra-thin thickness that minimizes the aesthetic im-pact, both inside and outside.

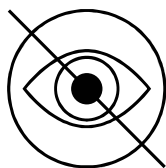


..2.0 VERTICALE

..2.0 + FCU

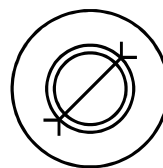
..2.0

..2.0 MINI



ALMOST INVISIBLE, OUTDOOR AND INDOOR

With only 16 cm depth, „..2.0” is extremely slim and not invasive. The impact is minimized, indoor and outdoor.



162 mm HOLES

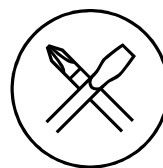
Essential both for design and installation: easier to find drilling tools, no need of professional drilling machines, further reduced outdoor impact.



DC INVERTER E DUAL POWER: OPTIMIZED CAPACITIES, RE- DUCED CONSUMPTION

Thanks to DC Inverter technology, capacities are optimised so to have the best comfort with the lowest power consumption and noise. Thanks to Dual Power it is possible to select the highest capacity so to reach the requested temperature as soon as possible.

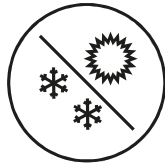
Once reached the set temperature, „..2.0 will automatically set the comfort function.



EASY TO INSTALL

All installation accessories (template, supporting bracket, outdoor grills, insulating wall pipes) are contained in the carton box.





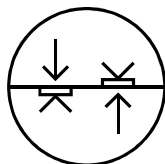
“COOLING ONLY” AND “HEAT PUMP” IN THE SAME VERSION

..2.0 a in heat pump , with condensate drain pipe.
The “heat function” can be easily deactivated and the unit will perform in “cooling only” with no need of condensate drain.



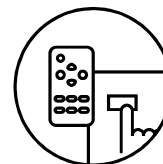
NO FROST SYSTEM

The drain pan is constantly warmed up so to avoid any risk of icing of condensate drain during winter time, in heat pump mode.



SELF FOLDABLE OUTDOOR GRILLS

..2.0 has self foldable grills that open when the unit is working and close when it is off. Grills are activated by in and out airflow. The best indoor comfort with less dust, less noise and less pollution. Low maintenance and even less visible from the outside.



CONTROL BOTH REMOTE AND ON BOARD

Besides the remote control, the on board control permit to set any possible function, including a “lock” position so to avoid improper use. An APP permits the management of the unit from remote position, through WIFI.

The versions



..2.0

The ..2.0 features two major power and size innovations. A 15 HP version and a MINI version using R290 pro-pane gas.

NEWS 2021

15HP

MINI



..2.0⁺ FCU

Equipped with an integrated fan coil unit for heating with hot water, in summer it works as a normal air conditioning unit but in winter it can operate as a heat pump, as a simple fan coil or in automatic hybrid mode when it is particularly cold.





..2.0^{H2O}

The ..2.0 H2O is the water-to-air air conditioner that uses groundwater, mains water or closed-loop water. It heats or cools according to the season with a constant water temperature. One of the most innovative technical solutions in the building world for renovating without intervening on the existing plumbing.



..2.0^{VERTICALE}

The vertical version of ..2.0 is ideal when there is simply not enough room or there is no room at all, like between two French windows or near corners.

NEWS 2021

..2.0 MINI

The tiny air conditioner



WITHOUT OUTDOOR UNIT
The outdoor unit is replaced
by two 162-mm holes.



EASY INSTALLATION
Monobloc unit without refrigerant
connections during installation.



81 CM WIDTH



PROPANE GAS R290



So small, so ecological

The ..2.0 MINI is the first fixed twin duct air conditioner to use R290 (propane) gas. Remarkable R&D to ensure the perfect operation of the appliance with less than 150 g of gas, that is the limit set by law. The ..2.0 MINI has an environmental impact in terms of GWP (Global Warming Potential) of 3, compared to R410a gas which has a GWP of 2088 and R32 gas which has a GWP of 675.

The ..2.0 MINI can fit when space is at a premium with its 81-cm width maintaining the same standards of performance and noiselessness.

Power range ..2.0 MINI

15 HP	-
12 HP	-
10 HP	-
9 HP	•
8 HP	-
..2.0 MINI	



NEWS 2021

..2.0 15HP

The ..2.0 with extra-large power



202 mm HOLES

The outdoor unit is replaced by two 202-mm holes.



DC INVERTER AND DUAL POWER

Maximum comfort with the lower consumption and quiet operation



EASY INSTALLATION

Monobloc unit without refrigerant connections during installation.



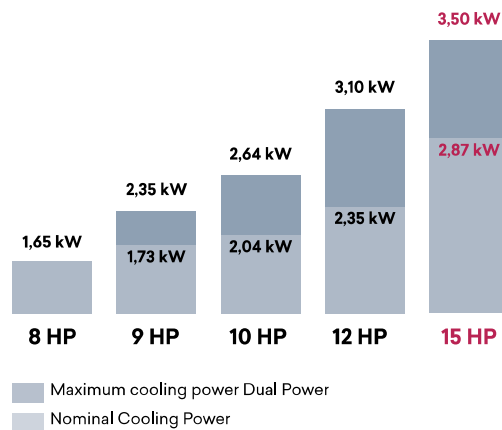
REMOTE CONTROL WITH INNOVAPP

There has never been such a powerful ..2.0

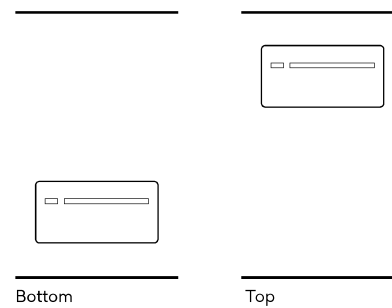
When you need more power... here is ..2.0 15 HP.

With 202-mm holes, all other dimensions being equal, the ..2.0 15 HP delivers power keeping performance and noise standards unchanged.

High power



Positioning



More power, same ease of installation.



..2.0

An instant classic



WITHOUT OUTDOOR UNIT

The outdoor unit is replaced by two 162-mm holes.



EASY INSTALLATION

Monobloc unit without refrigerant connections during installation.



DC INVERTER E DUAL POWER

Maximum comfort with the lower consumption and quiet operation



REMOTE CONTROL WITH INNOVAPP



Stylish, slim and silent

Too often air conditioning means installing bulky and un-sightly condensing units outdoors. ..2.0 is the INNOVA air conditioner without outdoor unit designed to fit perfectly into existing domestic environments, offering excellent energy performance and almost disappearing from view to minimize the aesthetic impact. The design is studied in every detail so to deliver a real piece of furniture, thin and compact, where form follows function.

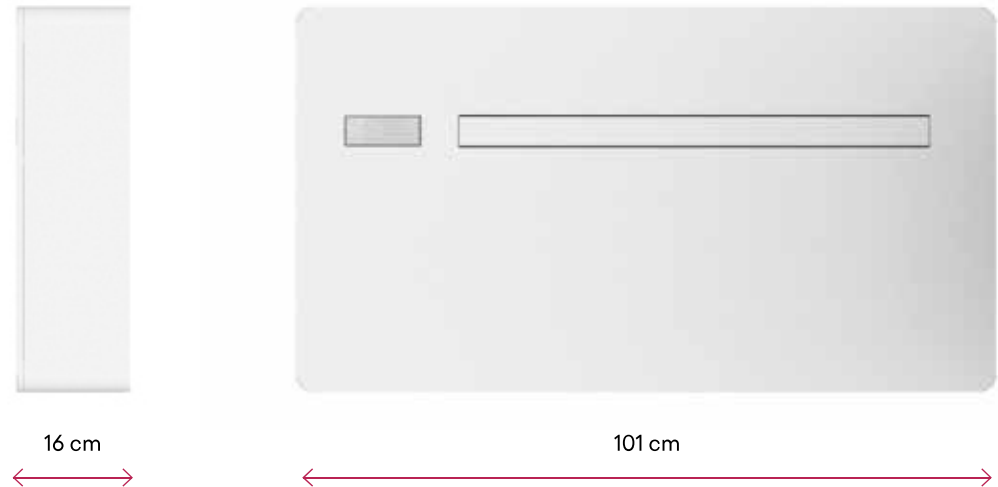
..2.0 can work both for summer air conditioning and, as a heat pump, for winter heating. Both functions, in the same model, with maximum ease of installation.

Simple and practical

The ..2.0 in its standard version is the ideal solution for the majority of living contexts and for the most common do-mestic needs. The top of simplicity at your fingertips.

Power range ..2.0

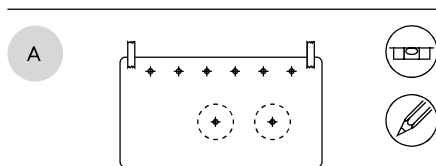
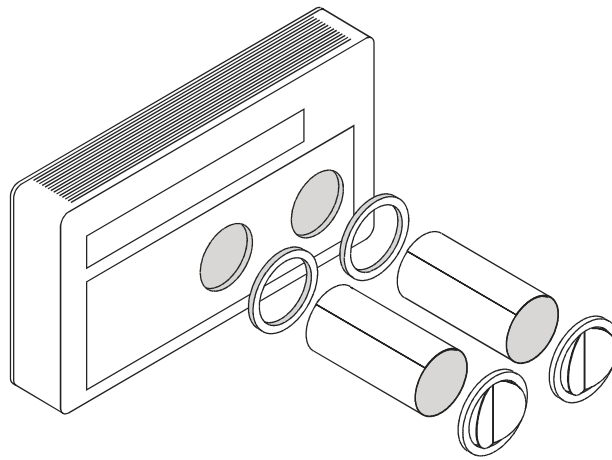
15 HP	•
12 HP	•
10 HP	•
9 HP	-
8 HP	•
	..2.0



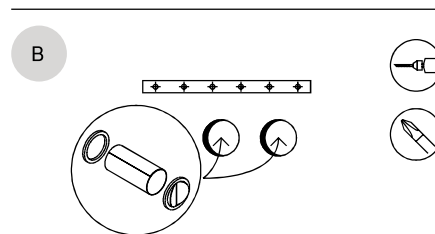
..2.0

Easy installation

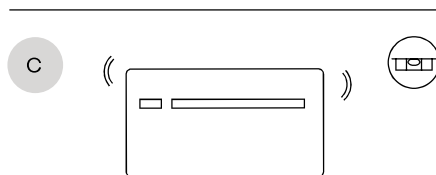
Minimum depth, the right colour, a perfectly smooth surface, an all-metal body... A product studied to integrate perfectly in any environment.



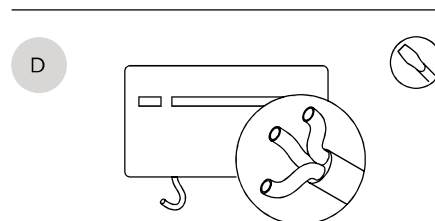
Stick the template to the wall and mark the positions for screws and holes centring.



Fix the supporting bracket to the wall and install the out-door grills, the protection plastic sleeves, the indoor flanges in the holes.



Mount the unit on the wall bracket checking the correct alignment.



Install electrical connections and condensate drain for that pump functioning.



1

FULL METAL BODY

The body of ..2.0 is now completely in metal, as all plastic has been eliminated. Strong and robust, 2.0 is now even more solid and consistent.

2

**DISPLAY TOUCH SCREEN +
WIFI RECEIVER**

The wide control panel permits the selection of any functioning parameter straight on board – and also houses the communication through WIFI.



3

**HIGH EFFICIENCY CONDENSING
BATTERY**

The condensing battery is at high efficiency, integrating the evaporative effect of condensate – for an even further enhanced performance.

4

HYPER-COMPACT DESIGN

An hyper-compact body includes all what is necessary for the perfect functioning of the unit, thanks to an extremely careful design made with the focus to reduce the dimensions of each component ensuring its perfect functioning.

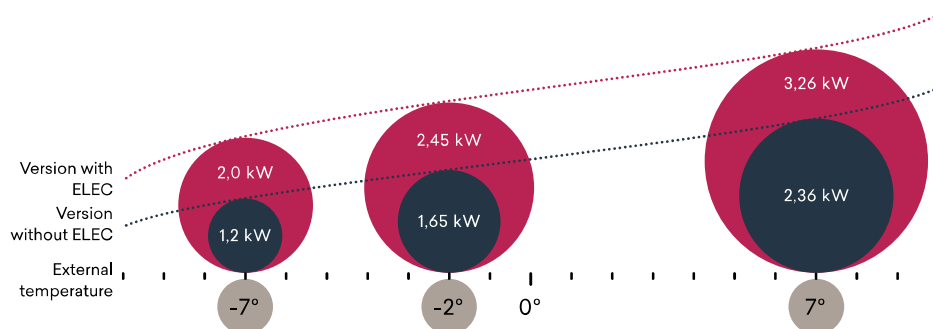
..2.0 ELEC, ..2.0 with integrated electrical heater

As all heat pumps, ..2.0 has lowering performances in heating when outdoor temperature is falling. Sometimes a strong request is to have a consistent heating capacity also with extremely low outdoor temperatures.

..2.0 ELEC, integrates (and not replaces) the heat pump with a 900 W electrical heater that intervenes automatically when outdoor temperatures become extremely low.

Because of this, “..2.0 ELEC” can deliver a heating capacity of at least 2 kW even with outdoor temperatures down to -7°C, with an energy absorption of 900 W that is extremely low and fully compatible with standard domestic power supplies. ..2.0 ELEC can be considered a complete heating system even with severe outdoor temperatures.

Power comparison





..2.0 + FCU

The ..2.0 with integrated fancoil



WITHOUT OUTDOOR UNIT

The outdoor unit is replaced by two 162-mm holes.



EASY INSTALLATION

Monobloc unit without refrigerant connections during installation.



DC INVERTER E DUAL POWER

Maximum comfort with the lower consumption and quiet operation.



REMOTE CONTROL WITH INNOVAPP

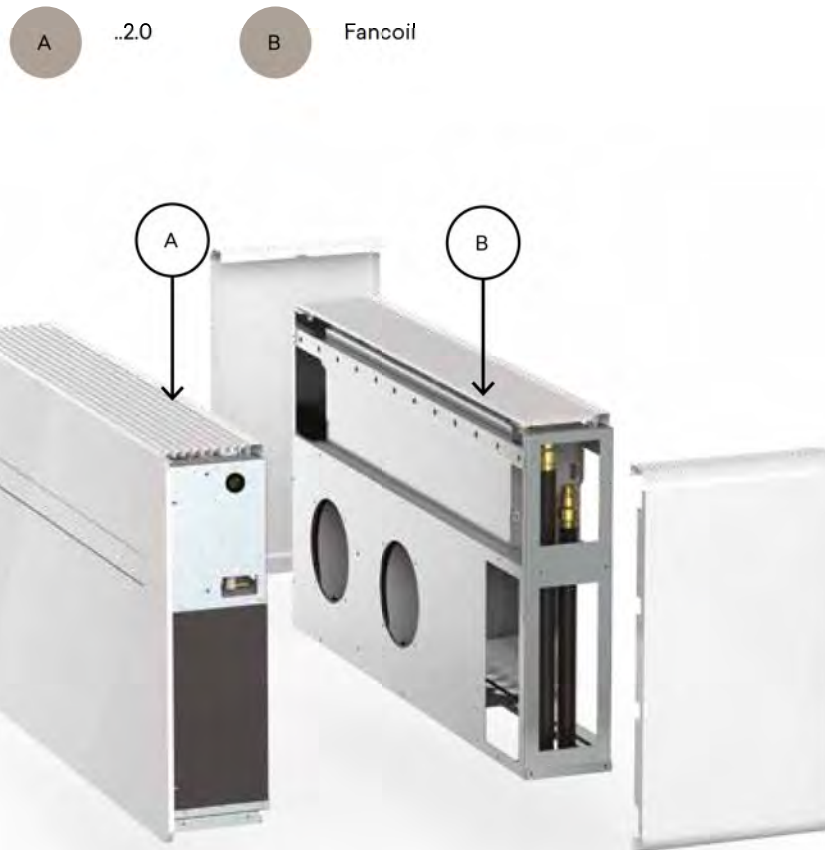


Suitable for all seasons

The ..2.0 + FCU, integrates an air-conditioning unit for summer and winter operation and a fan coil for heating with plant hot water in a single casing. Replace a conventional radiator and obtain comfort in the summer and the winter in return. The ..2.0 + FCU is easy to install needing just two 162-mm holes in the wall and simple connections to the existing water heating system.

In winter, heating is guaranteed by the heat pump operation; when the outside temperatures drop, ..2.0 + FCU automatically integrates the heat pump operation with the use of the fancoil, thus ensuring the maintenance of the set internal temperature.

Furthermore, in the presence of particularly cold external temperatures, the heating function can be programmed with only the use of system hot water.



..2.0 H2O

The water/air conditioner



OPERATES WITH WATER

Suitable for use with mains water, groundwater or WLHP loop system.



EASY INSTALLATION

Monobloc unit without refrigerant connections during installation.

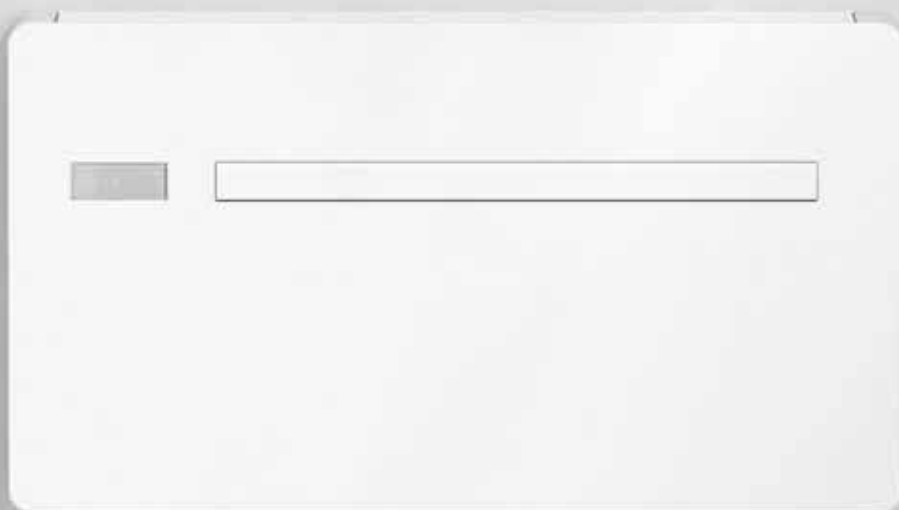


DC INVERTER E DUAL POWER

Maximum comfort with the lower consumption and quiet operation.



REMOTE CONTROL WITH INNOVAPP



Zero impact renovations

The ..2.0 H2O is a truly innovative solution in the building renovation world.

The ..2.0 H2O heats or cools according to the needs of the season providing the temperature of the water fed to the system is substantially stable.

This means being able to carry out renovation and energy renovation works without having to intervene on the ex-isting plumbing.

High efficiency

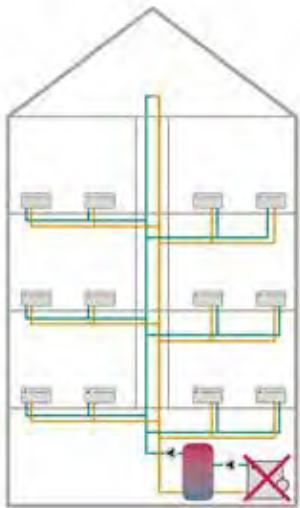


Power range ..2.0 H2O

15 HP	•
12 HP	-
10 HP	-
9 HP	-
8 HP	-
	..2.0 H2O

Hot and cold, no problem

..2.0 H2O is the ideal air conditioner in particular domestic contexts such as historic centers and in general for the en-ergy requalification of condominiums, where it is possible to remove the radiators and use the same pipes to have, both heating than cooling in a water loop system. The ..2.0 H2O is installed on a traditional “water loop” fed by a central heat pump.



..2.0 VERTICAL

The vertical version of the ..2.0 is ideal for when there is simply no room at all.



WITHOUT OUTDOOR UNIT

The outdoor unit is replaced by two 162-mm holes.



EASY INSTALLATION

Monobloc unit without refrigerant connections during installation.



DC INVERTER E DUAL POWER

Maximum comfort with the lower consumption and quiet operation



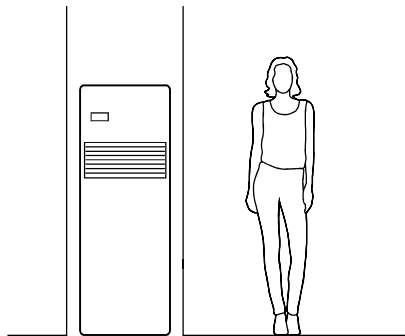
WIFI REMOTE CONTROL

The hyper-compact without an external unit

The vertical version of ..2.0 has a width of just 500 mm but retains all the features of the standard horizontal model.

This is the ideal solution for rooms where you cannot in-stall horizontal solutions, for instance between two win-dows or in a corner.

Positioning



Upward flow



..3.0

The condensate nebulizer

To dissipate the condensate expelled by air conditioning systems sometimes is a problem.

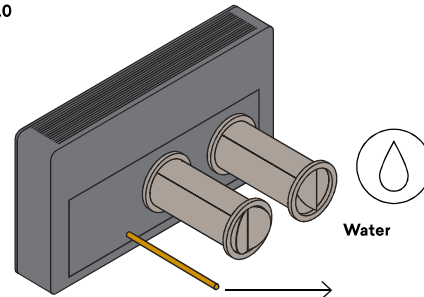
In the winter, the ..2.0 works using a drain pipe that conveys the condensate outside.

when even installing this pipe is tight, the best solution is the ..3.0.

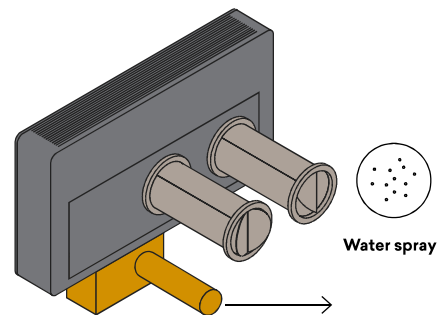
In the ..3.0, the condensate produced by the air conditioning unit is conveyed in an innovative piezoelectric cell system, atomized and then expelled outside through a micro-fan. The [..3.0] is installed underneath the [..2.0] with an 80-mm hole in the wall.

Dimensions	378 x 140 x 232 mm
Weight	4,8 kg
Disposal	2 L/h
Colour	matt white RAL 9003
Input	16 mm hole on top cover
Output	80 mm hole on the back side
Consumption	Max 220 W
Power supply	230 V
Components	10 cells piezoelectric atomizer Fan to discharge condensate steam Power pack 230 V - 48 V Floater Steel Tank

Without ..3.0



With ..3.0



Side installation kit

Air-conditioner without outdoor condensing unit are always installed on a perimeter wall, so to exchange air with the outside.

Sometimes this is not possible, as the "outside" is lateral with respect to the wall hosting the unit. With this kit, to be built into the wall, the airflow is deviated laterally: therefore it is possible to install ..2.0 on the wall with side air exit. This allows many new and unexpected possibilities to install ..2.0!

- A ..2.0 for wall mounting.
- B Built-in side installation kit.
- C Self foldable outdoor grills.



InnovApp

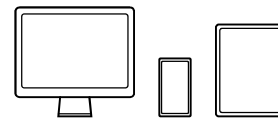
Configure, manage and control all INNOVA devices

From summer to winter climate control, heat pumps and fan coils to HRV and radiant systems. InnovApp is the INNOVA app for managing all elements of your home system with a simple touch, from your smart-phone or tablet, from home or wherever you are.

The InnovApp interface is easy and user-friendly. You can create custom scenarios, set different temperatures in each room or for each ..2.0 fan coil or HRV, programming every detail of your home comfort.

Remote and local management

Remotely - PC / Smartphone / Tablet



Local - Butler



Main functions

- **Supervision and control through local network or remote-ly**

The system can be managed through a smartphone, tablet or computer

- **Summer and winter personalised programming**

Different programmes can be set for each season

- **Three temperature level setting on INNOVA fan coil net-work**

For each room or zone it is possible to select 3 different work temperatures, which can be modified at any time

- **Weekly time programming**

In each room it is possible to set different operating times

- **etwork interface like the one on PCs**

The connection to the webserver is the same as that of a normal computer once the bus network between the heat pump and the fan coils has been established.

- **Remote assistance**

With your consent, the ..2.0 can automatically log on to the INNOVA cloud for diagnostics and assistance when necessary

A

WEEKLY SCHEDULING



B

DOMESTIC HOT WATER SETTINGS

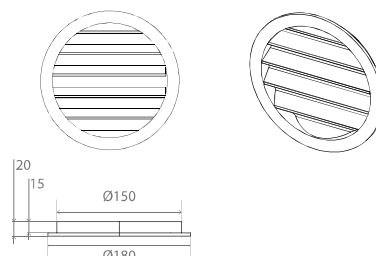


Accessory

Kit of external grids with fixed fins.

Description

Accessory supplied on request, as an alternative to the folding grids provided. The grids with fixed fins are in aluminium they are pre-ferred for aesthetic reason or for painting needs.



Codes

GB0738II for ..2.0 whit 162 mm holes
GB1091II for ..2.0 whit 202 mm holes

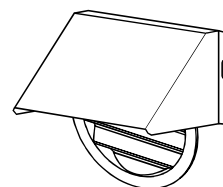
Rain protection kit.

Description

Top cover of holes for installation of the ..2.0 on walls exposed to rain and wind. Accessory supplied on request and applicable on external grids with fixed fins.

The supply includes 2 covers, one for each grill.

White RAL 9003.



Functionality

The accessory, positioned in the upper part of the grilles, protects the hole from bad weather.

Codes

GB0739II for ..2.0 horizontal / vertical and ..2.0+FCU

Insect protection kit.

Description

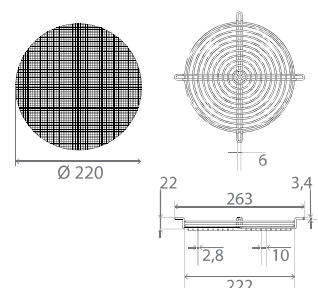
Kit consisting of:

- 1 metal mesh discs
- 1 grids in metal wire
- fixing screws and plugs

Accessory supplied on request and applicable on external grids with fixed fins.

Functionality

The accessory, installed above the grilles, further protects the holes avoiding the possible entry of insects or small materials.



Codes

GB0755II for ..2.0 horizontal / vertical and ..2.0+FCU

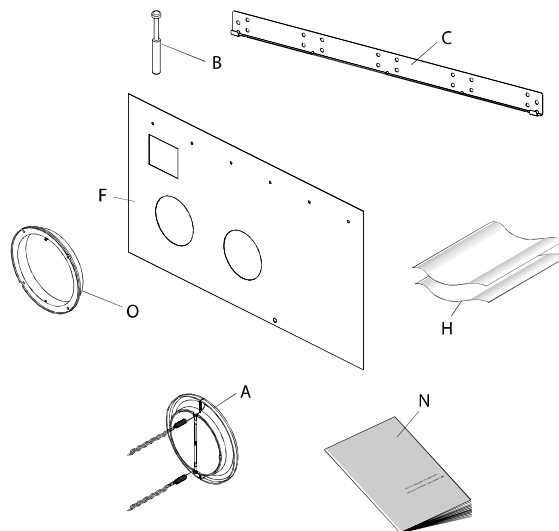


Pre-installation kit.

Description

Kit consisting of:

- 2 external grilles for air inlet and outlet including springs and chains (A)
- 6 crews and dowels kit (B)
- Wall fixing bracket (C)
- Paper template for drilling holes (F)
- 2 wall-mounted pipes (H)
- Installer manual (N)
- Counter-flange for internal wall (O)



Functionality

This kit is used to prepare the space and holes for the future installation of the ..2.0. All components of this accessory are still included in the box at the time of purchase.

Codes

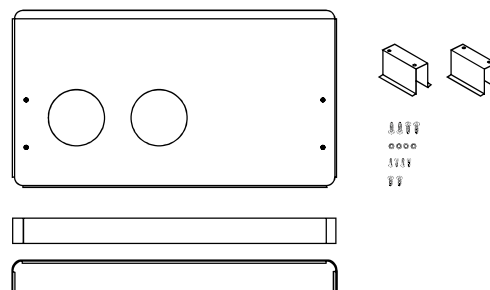
GB0671II for ..2.0 horizontal with 162 mm holes
GB1092II for ..2.0 horizontal with 202 mm holes

Kit for installation on glass walls.

Description

Kit consisting of:

- 1 aesthetic back cover, white colour RAL 9003
- 2 floor fixing bracket for ..2.0
- 1 front plinth cover floor fixing brackets RAL 9003
- Screws and nuts



Functionality

The accessory has an aesthetic function in installation where the back of the ..2.0 is visible. For example when it is placed behind a display cabinet.

Codes

GB0740II for ..2.0 horizontal
GB0742II for ..2.0 H2O

UV-C lamp kit.

Description

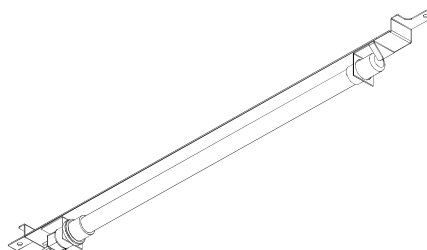
Air sterilization device with UV-C lamp (1)

For use in combination with horizontal ..2.0 12 HP size only

(1) Accessories can be installed and tested at the factory

Codes

GB1104II for ..2.0 horizontal



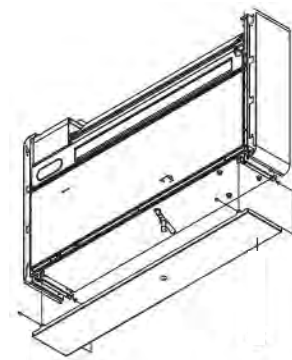
Aesthetic kit lower side cover ..2.0.

Description

The lower side cover is made of painted galvanized sheet of the same colour as the ..2.0.

Functionality

The accessory has an aesthetic function in installation where the lower part of the unit is visible. For example for the top installation.



Codes

GB0737II for ..2.0 horizontal and H2O
GB1105II for ..2.0 MINI

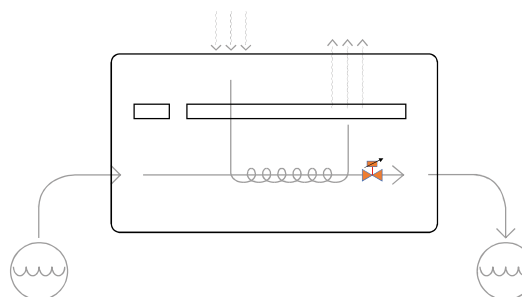
Modulating valve kit.

Description

The modulating valve reduces the consumption of the water used and extends the operating range for domestic hot water.

Functionality

The valve controls the water flow rate according to its inlet temperature. Example: if in cooling mode the water temperature is $<20^{\circ}\text{C}$, the valve reduces the flow rate to obtain an outlet temperature (35°C) which allows to have a correct condensation temperature. In heating mode, if the water temperature is too hot, the valve reduces the flow rate to obtain an outlet temperature of 7°C .



Codes

GB1018II for ..2.0 H2O

Kit “Fresh Air” with heat recovery.

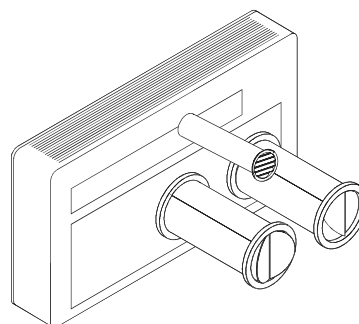
Description

Kit consisting of:

- 1 “Punctual” HRV with ceramic recuperator
- 1 electrical box to be positioned inside the ..2.0

Functionality

The kit allows to incorporate the heat recovery ventilation in the air-conditioning, reducing everything in a single space. The renewal air flow is $24\text{ m}^3/\text{h}$ with alternating flow.



Codes

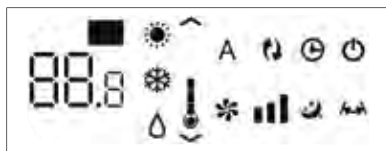
GR0765II for ..2.0 horizontal



Electronic controllers for ..2.0


Display touch screen.

Supplied as standard on board.



Interface:

- Touch interface
- Modulation fan speed

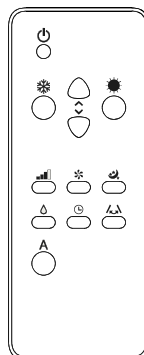
 WiFi connection in DC Inverter versions

Functionality: All mode settings, temperature and special functions

Different operating modes: cooling only, dehumidification only, ventilation only, heating only

Remote control

Supplied as standard.



- Possibility to control the airflow direction
- Night well-being key
- Fan speed control
- Timer function setting

Smart Touch wall control.

- Touch interface
- Modulation fan speed
- Cable length 8 m
- Integrated WiFi



 cod:
ECA031II



 cod:
ECB031II

Simplified control with basic command and unit setting functions

- Seasonal setting
- Temperature set point
- Ventilation speed

N.B. Not available for 2.0+FCU and with 3.0 option

Technical data sheets

		..2.0	..2.0 MINI	..2.0	..2.0 VERTICAL	..2.0	..2.0 ELEC	..2.0 VERTICAL	..2.0	..2.0 H2O
Models	u.m.	8 HP	9 HP	10 HP		12 HP			15 HP	15 HP

Cooling performance (A 35 °C; A 27 °C)

Maximum cooling capacity Dual Power	(1)	kW	-	2,35	2,64	2,60	3,10	3,10	3,11	3,50	3,60 (5)
Nominal cooling power	(1)	kW	1,65	1,73	2,04	2,04	2,35	2,35	2,35	2,87	2,66 (5)
Minimum Cooling Capacity	(1)	kW	-	0,70	0,83	0,81	0,92	0,92	0,92	1,40	1,30 (5)
Dehumidification capacity		L/24h	0,7	0,7	0,8	0,8	0,9	0,9	0,9	1,2	1,3
Total input power		kW	0,58	0,57	0,63	0,75	0,73	0,73	0,85	1,04	0,73 (5)
EER			2,84	3,01	3,24	2,72	3,22	3,22	2,75	2,74	4,32
Energy efficiency class	(2)		A	A	A+	A	A+	A+	A	A	

Heating performance (A 7 °C; A 20 °C)

Maximum heat output Dual Power	(3)	kW	-	2,40	2,64	2,64	3,05	3,05	3,05	3,50	3,84 (6)
Nominal heat power	(3)	kW	1,70	1,71	2,10	2,10	2,36	2,36	2,36	2,75	2,80 (6)
Electric heater additional power		kW	-	-	-	-	-	1	-	-	
Minimum heat output	(3)	kW	-	0,75	0,71	0,68	0,79	0,79	0,79	1,35	1,40 (6)
Total absorbed power	(3)	kW	0,55	0,54	0,64	0,67	0,72	0,72	0,75	0,88	0,72 (6)
COP			3,12	3,15	3,29	3,10	3,28	3,28	3,15	3,12	4,51
Energy class			A								

Electrical data

Total input power		kW	0,69	0,90	0,95	0,95	1,06	1,96	1,06	1,45	1,06
Maximum absorbed current		A	3,00	3,90	4,40	4,40	4,80	4,80	4,80	6,30	5,60
Tension		V/F/Hz	230-1-50	230-1-50	230-1-50	230-1-50	230-1-50	230-1-50	230-1-50	230-1-50	230-1-50

General characteristics

Indoor/outdoor ventilation speed		Nr.	3	3	3	3	3	3	3	3	3
Air flow at the maximum fan speed internal/ external		m3/h	360/430	360/430	380/460	380/460	400/480	400/480	400/480	450/550	400
Air flow at the medium fan speed internal/ external		m3/h	300/360	300/360	310/380	310/380	320/390	320/390	320/390	350/460	320
Air flow at the minimum fan speed internal/ external		m3/h	240/320	240/320	260/330	260/330	270/340	270/340	270/340	300/400	270
Type of compressor			Rotary	Rotary - DC Inverter	Rotary - DC Inverter	Rotary - DC Inverter	Rotary - DC Inverter	Rotary - DC Inverter	Rotary - DC Inverter	Rotary - DC Inverter	Rotary DC Inverter

Sound data

Nominal sound pressure	(4)	dB(A)	38	39	39	39	41	41	41	43	27
Pressione sonora minima	(4)	dB(A)	29	27	26	26	27	27	27	29	41



		..2.0	..2.0 MINI	..2.0	..2.0 VERTICAL	..2.0	..2.0 ELEC	..2.0 VERTICAL	..2.0	..2.0 H2O
Models	u.m.	8 HP	9 HP	10 HP		12 HP			15 HP	15 HP

Refrigeration connections

Refrigerant			R410a	R290	R410a	R410a	R410a	R410a	R410a	R32	R410a
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Product dimensions and weight

Total width		mm	1010	810	1010	500	1010	1010	500	1010	1010
Total height		mm	549	549	549	1398	549	549	1398	549	549
Total depth		mm	165	165	165	185	165	165	185	165	165
Empty weight		kg	41	38	41	57	41	41	57	41,0	50,0
Wall hole diameter		mm	162	162	162	162	162	162	162	202	
Hole spacing on wall		mm	293	210	293	293	293	293	293	293	

Total heat capacity FCU

Total heat capacity FCU (70 °C)		kW	-	-	1,9	-	1,9	-	-	-	-
Water flow		L/h	-	-	364	-	364	-	-	-	-
Water pressure drop		KPa	-	-	10	-	10	-	-	-	-
Hydraulic connections		" EK	-	-	3/4	-	3/4	-	-	-	-
Total width		mm	-	-	1010	-	1010	-	-	-	-
Total height		mm	-	-	549	-	549	-	-	-	-
Total depth		mm	-	-	308	-	308	-	-	-	-

- (1) Outdoor air temperature 35 °C, relative humidity 50%. Ambient temperature 27 °C; relative humidity 50%. Performance according to EN 14511
 (2) Energy classification according to the directive 626/2011
 (3) Outdoor air temperature 7 °C; relative humidity 72% / Ambient temperature 20 °C, relative humidity 28% / Performance according to UNI 13141-7
 (4) System-side sound pressure measured in semi-anechoic chamber at 2 m distance
 (5) Water temperature in/out 30/35 °C / Room temperature 27 °C; relative humidity 50% / Performance according to EN 14511
 (6) Water temperature in/out 15/10 °C / Ambient temperature 20 °C, relative humidity 28% / Performance according to EN 14511

Operating Limits:

Min. cooling temperature T environment 18 °C / T external -5 °C
 Max. cooling temperature T environment 32 °C / T external 43 °C
 Min. heating temperature T environment 5 °C / T external -10 °C
 Max. heating temperature T environment 25 °C / T external 18 °C

Operating Limits for ..2.0 H2O:

Min heating source temperature 10 °C with min output temperature 7 °C
 Max. source temperature in heating mode 25 °C
 Min. source temperature in cooling mode 20 °C
 Max. source temperature in cooling mode 40 °C







..2.0



CREDITS

Product Designer

Luca Papini

Art Direction & Graphic

OSMO DESIGN

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Special thanks to:

Akira Nishikawa





We turn ideas into products.





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Edition 2021/1

SUBMITTAL DATA: MSY-GL24NA-U1 & MUY-GL24NA-U1

24,000 BTU/H WALL-MOUNTED AIR-CONDITIONING SYSTEM

Job Name:	Location:	Date:
Purchaser:	Engineer:	
Submitted to:	For <input type="checkbox"/> Reference <input type="checkbox"/> Approval <input type="checkbox"/> Construction	
System Designation:	Schedule No.:	



Indoor Unit: MSY-GL24NA-U1



Wireless Remote Controller



Outdoor Unit: MUY-GL24NA-U1

ACCESSORIES:

Indoor Unit

- ☐ Anti-Allergy Enzyme Filter (MAC-2310FT)

Outdoor Unit

- ☐ Windscreens (ME-FR-24)

Controls

- ☐ Wireless Controller (MHK1)
☐ Wired Remote Controller PAR-40MAA (Requires MAC-334IF-E)
☐ Thermostat Interface (PAC-US444CN-1)

Note: Mitsubishi Electric (MESCA) supports the use of only MESCA supplied and approved Snow Guard / Wind Deflectors / Windscreens and accessories for proper functioning of the unit(s). Use of non-MESCA supported Snow Guard / Wind Deflectors / Windscreens and accessories will affect warranty coverage.

SPECIFICATIONS:

Rated Conditions (Capacity / Input)		
Cooling ¹	Btu/h / W	22,500 / 1,800

Capacity Range		Minimum	Maximum
Cooling ¹	Btu/h / W	8,200 / 570	31,400 / 3,580

NOTE: Test conditions are based on AHRI 210/240.

1: Rating conditions (Cooling) — Indoor: 80°FDB, 67°FWB, Outdoor: 95°FDB, (75°FWB)

Operating Conditions (Outdoor Intake Air Temp.) (Max. / Min.)	
Cooling ²	115 F (46° C) DB / 14° F (-10° C) DB

² Applications should be restricted to comfort cooling only; equipment cooling applications are not recommended for low ambient temperature conditions.

AHRI Efficiency Ratings	
SEER / EER	20.5 / 12.5

Energy Star®	Yes
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ENERGY STAR products are third-party certified by an EPA-recognized Certification Body.

Electrical Power Requirements	208 / 230V, 1-Phase, 60 Hz
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Minimum Circuit Ampacity (MCA) *		
Indoor / Outdoor (RBS)	A	1 / 17.1 (20A - Recommended Breaker Size)

***All electrical work shall comply with National (CEC) and local codes and regulations**

Indoor Unit		
Blower Motor (ECM)	F.L.A.	0.76
Blower Motor Output	W	55
SHF / Moisture Removal		0.750 / 5.1 pt./h
Field Drainpipe Size O.D.	In.(mm)	5/8 (15)

Outdoor Unit		
Compressor		DC INVERTER-driven Twin Rotary
Fan Motor (ECM)	F.L.A.	0.93

Airflow Rate (Quiet - Lo - Med - Hi - Super Hi)			
Indoor	DRY	CFM	388-469-544-628-738 (183-221-257-296-348)
	WET	(L/sec)	347-420-487-562-661 (164-198-300-265-312)
Outdoor			809 / 1769 / 2016 (420 / 834 / 951)

Sound Pressure Level (Quiet - Lo - Med - Hi - Super Hi)			
Indoor	Cooling	dB(A)	34-41-45-49-53
Outdoor	Cooling		55

External Dimensions		
Indoor (H x W x D)	In.(mm)	12-13/16 x 43-5/16 x 9-3/8 (325 x 1,100 x 238)
Outdoor (H x W x D)		34-5/8 x 33-1/16 x 13 (880 x 840 x 330)

Net Weight		
Indoor	Lbs.(kg)	37 (17)
Outdoor		119 (54)

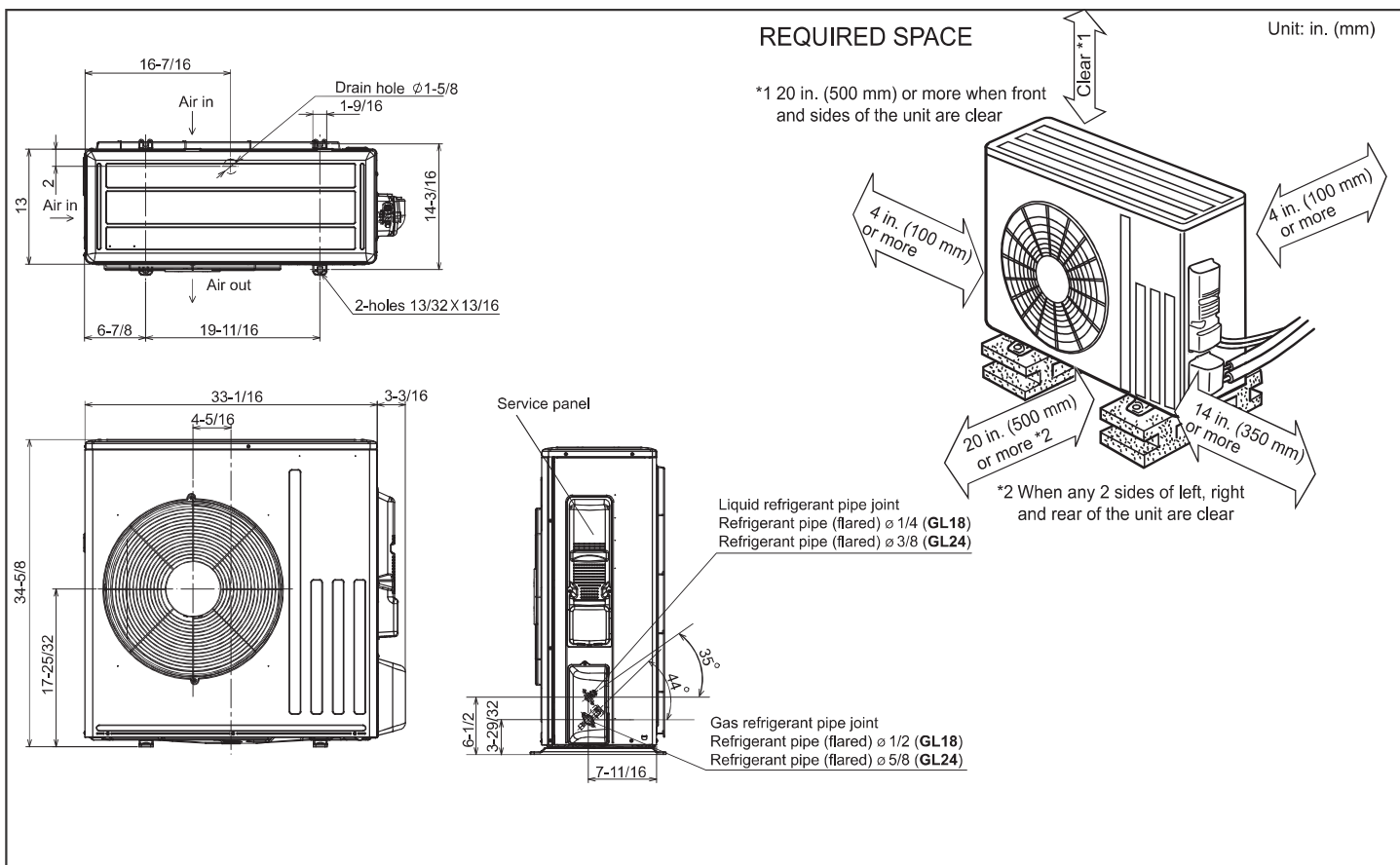
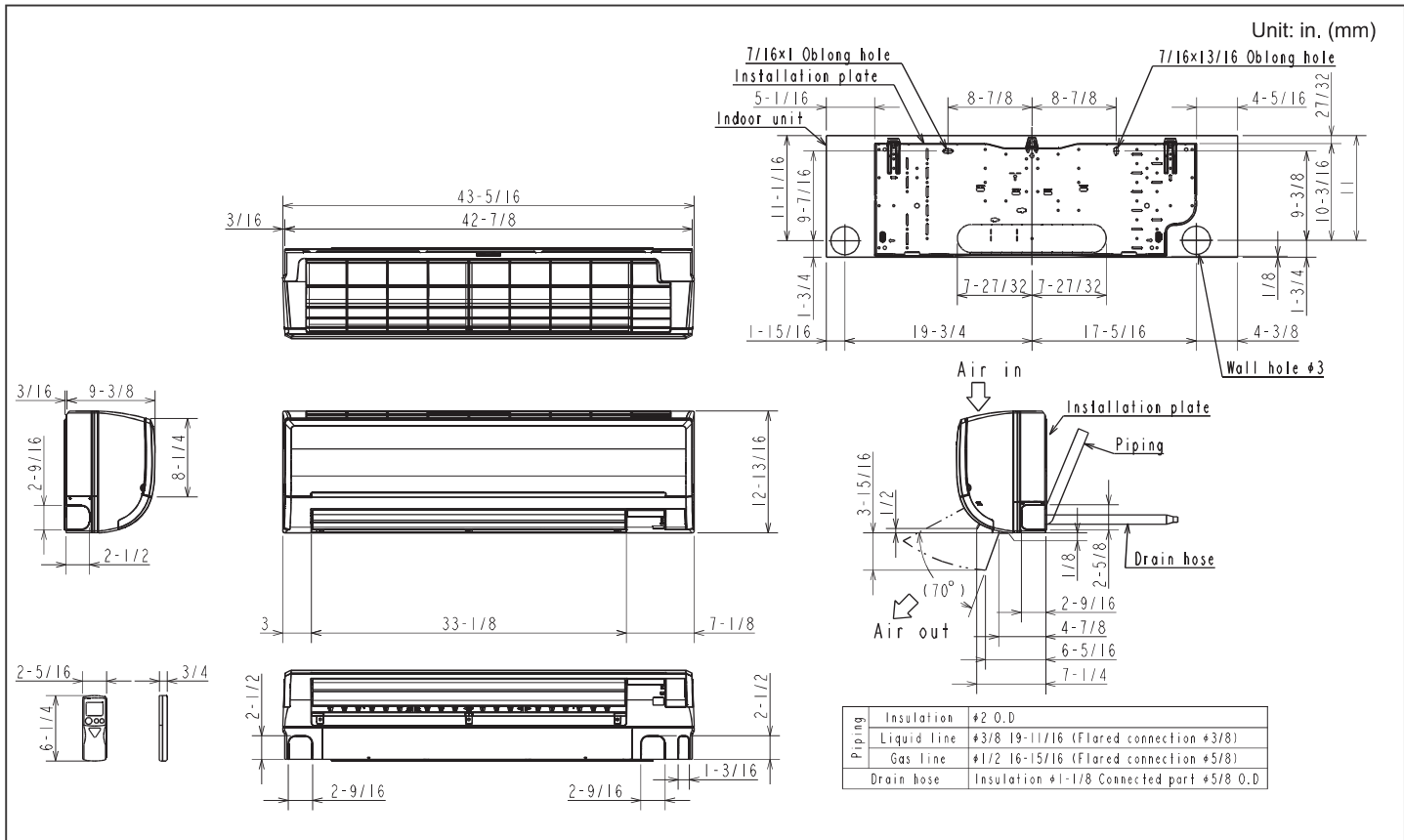
External Finish	
Indoor	Munsell 1.0Y 9.2 / 0.2
Outdoor	Munsell No. 3Y 7.8 / 1.1

Refrigerant	R410A; 4 lb. 3 oz.
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Refrigerant Piping (Flared)		
Liquid (High Pressure)	In.(mm)	3/8 (9.52)
Gas (Low Pressure)		5/8 (15.88)
Max. Total Refrigerant Pipe Length (Height Diff.)	Ft. (m)	50 (15)
Max. Total Refrigerant Pipe Length (Length.)		100 (30)

Specifications are subject to change without notice

DIMENSIONS: MSY-GL24NA-U1 & MUY-GL24NA-U1



Form # SB_MS-Y-GL24NA-U1_MUY-GL24NA-U1_202006
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Online/Electronic Banking:

1. Please email us at AR.BC@fsresidential.com for your Account Number to complete your online banking payment.
2. Go to your online banking website and select the bill payment option.
3. You will set up “FirstService Residential BC Ltd (Strata)” as the payee. (Ensure the word STRATA is included)
 - Simply search “FirstService” and it will give you the options.
4. Enter your payment amount and payment date.

WHEN SHOULD I MAKE MY PAYMENTS?

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Strata Earthquake Deductibles

Did you know, even though your building has earthquake coverage, you still need earthquake insurance under your own personal policy? This will protect your unit and contents, *and* provide funds to cover your special assessment toward the building's earthquake deductible.

How much Earthquake Deductible Assessment do I need?

<div><div>Your Unit Entitlement</div><div><input type="text"/></div><div></div><div><input type="text"/></div><div>Total Unit Entitlement</div></div>	×	<div><div><input type="text"/> %</div><div>×</div><div><input type="text"/></div><div>Strata Earthquake Deductible</div><div>Strata Building Value</div></div>
=		=
<div><input type="text"/></div>	×	<div><input type="text"/></div>
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<div>\$ <input type="text"/></div>		Earthquake Deductible Assessment

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