



**14020 Terry Road**  
**White Rock Waterfront \$8,800,000**

- Architect Brad Lamoureux of Lamoureux Architects, West Vancouver
- Builder John Gunson of Eurocanadian Construction Corp., North Vancouver
- Interior Designer Audrey Toplis of Toplis Interior Design, West Vancouver
- Landscape Architect Paul Sangha, of Paul Sangha Landscaping Vancouver
- Custom Art Glass Design and Construction by J.Loewen of Glassworks Inc.
- Architectural Windows and Doors by Dynamic Architectural Windows & Doors Abbotsford
- Waterfront Lot Size 23,086 sq.feet
- Home 7,799 sqft on three levels w/ Walk out Basement
- 9 page detailed Feature Sheet Link available

Floor plans and virtual tours at [www.whiterocklifestyles.com](http://www.whiterocklifestyles.com)

*Beebe Cline*

If it's important to You...  
 it's important to Me



Business: 604-531-1909 (24 hrs)  
 Cell: 604-830-7458  
 bcline@shaw.ca  
 www.whiterocklifestyles.com



Hugh & McKinnon Realty  
 14007 North Bluff Road, White Rock











Presented by:

# Beebe Cline - PREC

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**Active**  
**R2383903**  
 Board: F  
 House/Single Family

## 14020 TERRY ROAD

South Surrey White Rock  
 White Rock  
 V4B 1A2

Residential Detached

**\$8,800,000** (LP)

(SP)



Sold Date: Frontage (feet): **70.00** Original Price: **\$8,800,000**  
 Meas. Type: **Feet** Bedrooms: **5** Approx. Year Built: **2004**  
 Depth / Size: **327** Bathrooms: **6** Age: **15**  
 Lot Area (sq.ft.): **23,086.00** Full Baths: **5** Zoning: **RE-2**  
 Flood Plain: **No** Half Baths: **1** Gross Taxes: **\$23,729.48**  
 Rear Yard Exp: **South** For Tax Year: **2018**  
 Council Apprv?: Tax Inc. Utilities?: **No**  
 If new, GST/HST inc?: P.I.D.: **011-269-472**  
 Tour: **Virtual Tour URL**

View: **Yes: Pacific Ocean W/front no wires**  
 Complex / Subdiv: **Waterfront White Rock**  
 Services Connected: **Electricity, Natural Gas, Sanitary Sewer, Storm Sewer, Water**  
 Sewer Type: **City/Municipal**

Style of Home: **3 Storey**  
 Construction: **Frame - Wood**  
 Exterior: **Metal, Stone, Wood**  
 Foundation: **Concrete Perimeter**  
 Rain Screen: **Full**  
 Renovations: Reno. Year:  
 # of Fireplaces: **5** R.I. Plumbing: **Yes**  
 Fireplace Fuel: **Natural Gas, Wood** R.I. Fireplaces:  
 Water Supply: **City/Municipal** Metered Water: **Y**  
 Fuel/Heating: **Heat Pump, Natural Gas, Radiant**  
 Outdoor Area: **Balcny(s) Patio(s) Dck(s), Sundeck(s)**  
 Type of Roof: **Metal, Wood**

Total Parking: **10** Covered Parking: **4** Parking Access: **Front**  
 Parking: **Garage; Single, Garage; Triple, RV Parking Avail.**

Dist. to Public Transit: **1** Dist. to School Bus: **3**  
 Title to Land: **Freehold NonStrata**

Property Disc.: **Yes**  
 PAD Rental:  
 Fixtures Leased: **Yes: Security System w/ Cameras**  
 Fixtures Rmvd: **No**  
 Floor Finish: **Concrete, Hardwood, Tile**

Legal: **LOT 4, PLAN NWP7887, PART NE1/4, SECTION 9, TOWNSHIP 1, LD 36**

Amenities: **Air Cond./Central, Garden, Sauna/Steam Room, Storage, Swirlpool/Hot Tub, Workshop Attached**

Site Influences: **Cul-de-Sac, Private Setting, Private Yard, Recreation Nearby, Shopping Nearby, Waterfront Property**

Features: **Air Conditioning, ClthWsh/Dryr/Frdg/Stve/DW, Drapes/Window Coverings, Hot Tub Spa/Swirlpool, Pantry, Security System, Sprinkler -**

Floor	Type	Dimensions	Floor	Type	Dimensions	Floor	Type	Dimensions
Main	Foyer	12'2 x 10'3	Above	Walk-In Closet	8' x 15'5	Below	Storage	24'8x 10'7
Main	Living Room	18' x 15'2	Above	Bedroom	15'5 x 12'8	Below	Utility	15'5x 7'10
Main	Kitchen	21'3 x 13'7	Above	Bedroom	15' x 11'2			x
Main	Pantry	9'3 x 4'5	Above	Walk-In Closet	11'2 x 4'11			x
Main	Eating Area	16'2 x 13'9	Above	Bedroom	15'3 x 10'3			x
Main	Dining Room	17'5 x 11'8	Below	Bedroom	12'10 x 11'7			x
Main	Family Room	24'3 x 16'11	Below	Recreation	24'3 x 17'3			x
Main	Office	15'4 x 13'1	Below	Media Room	19'8 x 15'			x
Main	Mud Room	17'5 x 11'8	Below	Bar Room	7'10 x 7'4			x
Above	Master Bedroom	16'4 x 15'1	Below	Gym	19'11 x 16'8			x

Finished Floor (Main): **2,762**  
 Finished Floor (Above): **2,039**  
 Finished Floor (Below): **2,722**  
 Finished Floor (Basement): **0**  
 Finished Floor (Total): **7,523 sq. ft.**  
 Unfinished Floor: **0**  
 Grand Total: **7,523 sq. ft.**

# of Rooms: **22**  
 # of Kitchens: **1**  
 # of Levels: **3**  
 Suite: **None**  
 Crawl/Bsmt. Height:  
 Beds in Basement: **0** Beds not in Basement: **5**  
 Basement: **Full, Fully Finished, Separate Entry**

Bath	Floor	# of Pieces	Ensuite?
1	Main	2	No
2	Above	5	Yes
3	Above	3	Yes
4	Above	3	Yes
5	Below	3	No
6	Below	3	No
7			
8			

Outbuildings  
 Barn:  
 Workshop/Shed:  
 Pool:  
 Garage Sz: **47'2**  
 Grg Dr Ht: **21'11**

Listing Broker(s): **Hugh & McKinnon Realty Ltd.**

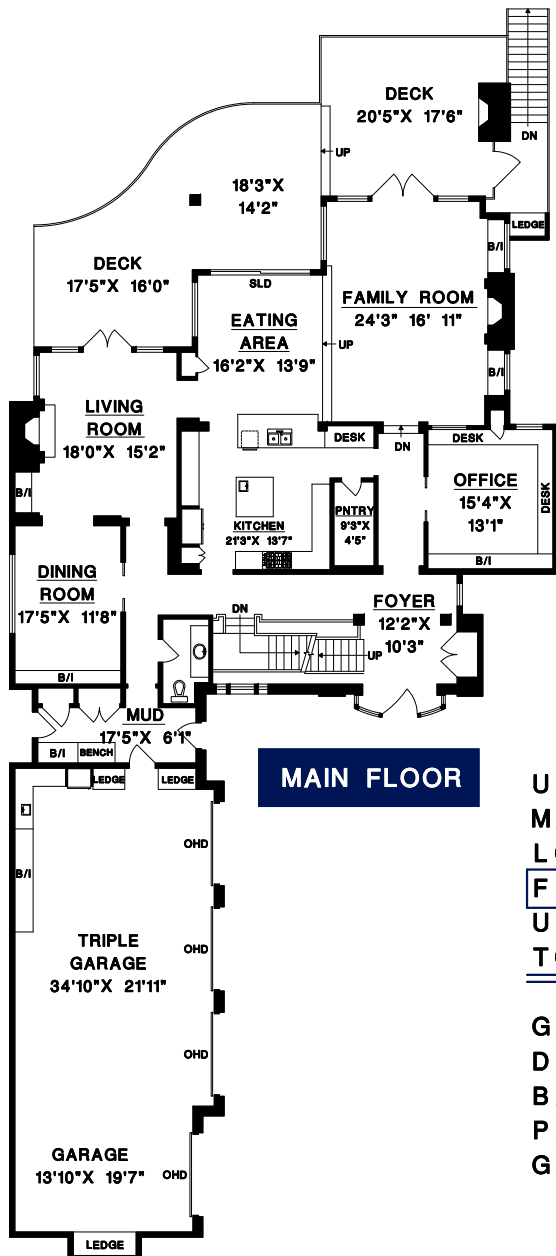
**Set in a Central yet Tranquil location, this Prestigious residence is a waterfront Property half acre in size, Row One Pacific Ocean. 150 ft. from the entrance to a 3.5 acre Waterfront City Park, w/Trail system gives access to the seashore year round. Very Close walk to the Famous Beach Front Town of White Rock. The mansion is set in Exquisite manicured grounds. The homes Architect renowned Brad Lamoureux & esteemed Builder John Gunson. Custom Architectural Windows & doors all by Dynamic w/power sunshade on South facing windows. 3/4 inch solid Black Walnut Flooring. Steel Beams used in Framing & concrete poured between flrs. Home exceeds 7500 sqft on three levels w/walk out Basement. Soundproofed Media room, full billiards w/bar +w, Gym a 5 bdrms en-suited. Central A/c \* 5 fireplaces.**



**BEEBE CLINE**

BUS: 604-531-1909  
 CEL: 604-830-7458  
 www.whiterocklifestyles.com

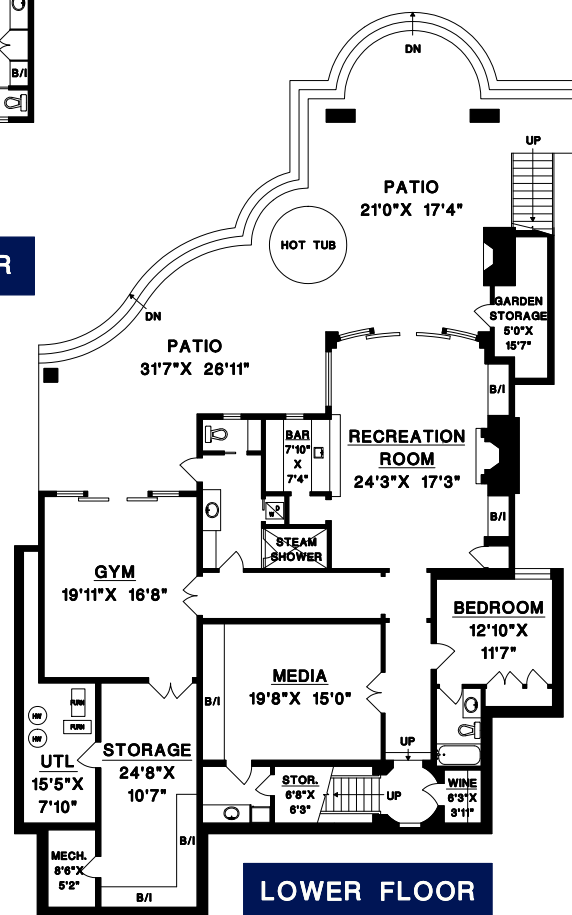
**14020 TERRY ROAD,  
 WHITE ROCK, B.C.**



**MAIN FLOOR**



**UPPER FLOOR**



**LOWER FLOOR**

UPPER FLOOR	2039	SQ. FT.
MAIN FLOOR	2762	SQ. FT.
LOWER FLOOR	2722	SQ. FT.
<b>FINISHED AREA</b>	<b>7523</b>	<b>SQ. FT.</b>
UNFINISHED	45	SQ. FT.
<b>TOTAL AREA</b>	<b>7568</b>	<b>SQ. FT.</b>

GARAGE	1205	SQ. FT.
DECK	956	SQ. FT.
BALCONY	116	SQ. FT.
PATIO	1263	SQ. FT.
GARDEN STORAGE	93	SQ. FT.

# 14020 TERRY ROAD

## FEATURES & BENEFITS

### **DESIGN & CONSTRUCTION BY:**

- Architect: Brad Lamoureux of "Lamoureux Architects", West Vancouver
- Contractor: John Gunson of Eurocanadian Construction Corporation, North Vancouver
- Interior Designer: Audrey Toplis of Toplis Interior Designs, West Vancouver
- Landscape Architect: Paul Sangha of Paul Sangha Landscaping, Vancouver
- Custom Art Glass: Design and Construction by J. Loewen of Glassworks Inc.
- Architectural Windows and Doors: Dynamic Architectural Windows & Doors, Abbotsford

### **GENERAL HOUSE DETAILS:**

- Flooring: ¾" solid Black Walnut throughout, also custom Black Walnut heating vent covers.
- Interior Doors: 1 ¾" over-sized solid wood with architecturally designed custom molding, 4 bronze hinges and bronze hardware.
- Interior Doors: 2 ¾" solid wood over-sized exterior doors with architecturally designed custom molding, 4 bronze hinges and bronze hardware
- Exterior windows & doors: Solid Black Walnut interiors, Yellow Cedar painted Exteriors, Mahogany door sills, True Divided lights, Low E glass, European lift & slide door hardware, solid bronze hardware for all, wood window screens. All Windows & Doors wired for house security system.
- Windows & Doors: individually designed and placed to maximize views while maintaining privacy.
- All moldings, wainscoting, coffered ceilings, baseboards, cabinets have been architecturally designed and custom mill worked.
- Tiled bathroom floors have in floor electric heating.
- 5 interior skylights have mill worked wood frames with Artisan designed Art Glass Lens's.
- Power Sun Shades for all South facing Windows & doors on main floor.
- Commercial grade in-house Vacuum system throughout including 2 outlets in the garage
- Main and second floor contain 1 ½" concrete pour throughout for structural strength and sound abatement.
- Baseboards are 9 ½" in height, layered, architecturally designed and custom mill worked
- Each room is hardwired for internet and commercial grade phone system
- Closets have 1 ¾" thick solid wood doors, contain an interior auto lighting feature, and are fully customized.
- Home delivery secure mail box to lockbox inside garage.
- Sound system built in on Main & second floors, garage and upper outside decks
- Separate sound system on lower level for lower floor & outside lower decking.
- 6" Copper gutters and downpipes throughout
- Three 9' custom architecturally designed Copper Chimney covers
- Best Ocean view on Peninsula



### **KITCHEN PLUS EATING AREA:**

- 48" Sub Zero side by side fridge/freezer with millwork face.
- 48" Wolf Range, 6 burner plus grill, dual fuel, double oven, with custom overhead commercial grade vent
- Miele dishwasher
- Miele built in coffeemaker
- Viking beverage fridge
- Panasonic Micro-wave
- Two custom appliance garage's
- Travertine marble counter tops
- Tumbled marble wall tiles, designer layout
- Built in Pot Filler
- Custom cabinetry with built in lights and in-laid glass
- 6' communications desk with travertine marble top and 7 drawers
- Large double sink plus additional prep sink in the island, 2 garburators, Grohe bronze faucets
- Full extension ½" solid wood drawers, some oversized
- Built in power vacuum sweep
- Large family eating area with large skylight above
- Built in Audio center for sound system on main and upper floors.
- Large separate architecturally designed custom pantry with built in shelves and cabinets.
- Large Black Walnut Sliding door leading to outside living deck, maximizing views
- 9' Travertine breakfast counter
- 3 Custom leather Island counter chairs included.
- Built in sound speakers throughout
- 8' X 10' Persian carpet

### **FAMILY ROOM:**

- Gas Fireplace with Architect designed, custom built, Basalt marble surround and fireplace hearth. (Gas operated)
- Custom built in bookcases and cabinets
- Built in sound system
- 6 Custom Art Glass windows placed to capture sunset while providing privacy
- Coffered ceilings throughout
- Large Black Walnut Sliding door leading to outside living deck, with wood burning/gas start fireplace and gas BBQ
- Custom made Sofas, Chair and coffee table included.
- 9' X 12' Persian carpet included

### **OFFICE:**

- Custom Art Glass Lens for skylight with inside lighting
- Entire room completed with wall to wall solid beach-wood millwork including bookcases, cabinets and 2 workstations.
- 2 beautiful designed Art Glass pocket doors for privacy.
- Double French windows for ocean view.
- Built in sound speakers

### **DINING ROOM:**

- Custom designed Art Glass Windows
- North end, wall to wall built in solid beech-wood China & Crystal display cabinets and mirror (11 ½" wide), customized interior full extension pull-outs
- Custom light fixture
- Solid wood pocket door for intimate dining.
- Dining room table (sits 12 with extension), 6 matching chairs plus 2 leather captain chairs.
- Built in sound speakers
- Exceptional 9' X 12' Persian carpet included

### **LIVING ROOM:**

- Formal Living room with 22' high ceiling (steel reinforced)
- Window frames contain 17 artist designed Art Glass pieces
- Solid wood double French doors leading onto view Deck
- Large 7' X 5' architect designed Basalt Marble fireplace and hearth (Gas operated)
- Built in custom cabinet and display case
- Millwork wainscoting throughout
- Juliet balcony with custom steel railing
- 22' high Coffered ceiling
- Wired for sound, speakers included.
- 8' X 10' Carpet included
- Limited edition Giclee painting by Cao Yung (Red Umbrella) incl.
- Custom mfg. couch plus 2-chairs & coffee table

### **POWDER ROOM:**

- Custom Tuscan Plastered Walls and ceiling
- Custom solid wood cabinet with custom cut marble top
- Tumbled marble flooring, layout by designer
- Built in speakers

### **MUD ROOM:**

- Custom solid wood cabinets & cushioned bench (incl. 8 large drawers and 2 cabinets)
- Custom solid wood closet inserts
- Custom shoe closet holds min. 45 pairs of shoes
- Custom over-sized designed round top Mahogany door, Mahogany trim and bronze hardware. (courtyard)
- 2<sup>nd</sup> custom round top door, painted with mahogany sill and 4 custom designed Art Glass pieces in round top
- Tumbled marble flooring.

### **FOYER:**

- 22' high curved radius Window/Door entry, steel reinforced
- 48" wide Solid Mahogany curved face door with mahogany sill, curved radius bent glass art glass, bronze hardware
- Marble decorative floor inserts in solid Black Walnut entry hall flooring.
- 3 custom Art Glass window units in foyer designed to capture the light and obscure neighbouring houses
- Custom wainscoting throughout hallways
- Architecturally designed railings throughout.
- Floating Black Walnut Staircase detached from wall (steel reinforced), concrete pour under black walnut floor.
- 14' X 6" multi-floor Art Glass feature included in custom window frames
- Upper stair landing includes custom designed and lighted Art Glass in skylight Lens.
- 14' X 3' Persian running carpet and 11' X 2 ½" Persian running carpet included
- Entry Chandelier

### **GARAGE:**

- Large 4-bay car garage.
- Custom solid 1 ½" thick wood door panels with radius tops and True Divided lights
- Heavy duty commercial grade garage door openers
- Custom Durable attractive fleck floor finish
- Lighted Cupola with windows
- 1,234 square feet
- Custom millwork including cabinetry, closets, 9 ½" baseboards & ceiling moldings.
- 2 Vacuum stations, alarm monitored for motion detection and heat
- Sink, counter and cabinets
- Two boot cabinets and recycling station
- Electrical heat and Hot water car wash station
- Upright freezer included

### **MAIN FLOOR REAR DECK:**

- Slate tile installed over concrete and steel structure.
- Architectural designed steel railings across curved deck and stairs down.
- Squamish stone fireplace with a solid granite hearth and mantle
- Real wood burning fireplace.
- 3 groups of deck furniture included
- 3 oversized custom planters included
- Security gate in steel matching railings
- Large cupboard for wood storage
- Exterior sound speakers and chandelier
- Roof extended over exterior living area and fireplace. Extra-large skylight

### **UPPER LEVEL:**

- Persian runner carpet in upper hallway.

### **MASTER BEDROOM, BATH & CLOSET**

- Barrel ceiling entry
- Custom made Draperies, Bedspread and pillows incl.
- Walk in Closet: custom built solid wood Floor to ceiling enclosed cabinets incl. shoe closet
- Bathroom: Custom solid wood millwork incl. linen cabinet & cushioned bench.
- 2 inset mirrored cabinets with glass shelving and electrical outlets.
- Marble countertop & flooring
- Marble/glass shower enclosure, with Grohe shower sprays
- Heated floor
- Art Glass skylight Lens
- Large free-standing bathtub
- Separate toilet area with large cabinet
- Vaulted ceiling in master
- Floor to ceiling millwork on east wall incl. cabinets and enclosed TV cabinet.
- Double solid wood doors leading to private master patio facing southern view.
- Solid mahogany sleigh bed with matching marble top end tables
- 2 Persian area carpets
- Private Balcony off French Doors with ocean view.

### **SECOND FLOOR HALLWAY:**

- 12' X 33" Persian carpet.
- Carved cabinet and mirror combo.

### **SECOND BEDROOM:**

- Built in 5 drawer, CPU cabinet desk, cabinets and bookcase in solid Beechwood
- Internet and telephone wiring.
- Large cabinet and 5 drawers built in.
- Solid wood closet-built in's, queen size bed & nightstand
- Window blinds included
- Ensuite with sink, shower and toilet
- Skylight with Art Glass Lens
- Built in sound speakers
- Blue Lapis marble counter tops
- Inset mirrored cabinet
- Vaulted ceiling
- Ocean views

### **THIRD BEDROOM:**

- Vaulted ceiling
- Custom window blinds
- Built in custom desk and dressers
- Telephone and internet connections
- Juliet balcony with steel railing and custom round top double pocket doors
- Walk in closet with solid built in's.
- Solid wood queen bed and nightstand
- Ensuite with marble counters, custom designed tile work and generous shower
- Inset mirrored cabinet
- Ocean views
- Skylight with Art Glass Lens
- Art Glass window in shower.

### **LAUNDRY ROOM:**

- New Whirlpool Washer and Dryer with drain under.
- Surround floor to ceiling cabinets with countertops
- Drying closet with drain
- Sound Speakers, Telephone.

### **CRAFTSROOM/ 4TH BEDROOM:**

- Cushioned bay window sitting area with French casement curved glass windows
- Large floor to ceiling bookcase
- 2- double closets with solid wood sewing center and desk area.
- Built in speakers
- Vaulted ceiling.
- Persian Carpet included

### **LOWER LEVEL:**

- Circular vestibule at entry to lower level with chandelier and art niche
- Basalt marble floor inlays into Black Walnut flooring
- Curved face Black Walnut door with curved Art Glass into Wine Cellar
- 400+ wine bottle storage.

### **GUESTROOM:**

- Wall to wall Wool carpeting.
- Large custom closets
- Ensuite with Marble floor
- Marble tub enclosure
- Basalt marble countertop
- Heated floor
- Inset mirrored cabinet
- Queen size bed, nightstand and guest hutch included

### **BAR/BILLIARD ROOM:**

- Lower floor sound system with T.V. in billiard room
- Architect designed Basalt Marble gas fireplace with Beechwood mantle.
- Floor to ceiling, wall to wall custom cabinetry in solid Beechwood.
- Custom Bar with Maytag Dishwasher, Viking Bar Fridge, sink
- Custom cabinets with glass shelving and mirrored back
- Black Walnut window with custom Art Glass.
- Basalt Marble countertops
- Brass foot rail.
- 4-Panel Black Walnut Lift & Slide door leading onto lower deck with wood burning fireplace.
- 12' X 16' Persian carpet
- 9' X 5' slate pool table and accessories
- 3 barstools, 2-chairs and accessories.

### **STEAM SHOWER:**

- Walk in steam shower in custom tile and glass door
- Lower level stacking Maytag washer & dryer
- Built in custom bench with cushion
- Basalt Marble countertops with mirror above.
- Separate toilet area.
- Glass panel French door leading to lower deck and hot tub

#### GYMNASIUM:

- Full sized gym with ceiling fan
- Built-in soundspeakers
- Wall phone
- Eurosport Universal exercise center
- Treadmill
- Spinning bike
- Walled mirror with ballet bar
- Double glass panel French doors at entry
- TV included & DVD center
- 4 panel lift & slide glass doors leading to lower deck.

#### STORAGE ROOM:

- 5 built in floor to ceiling 4' X 8' doored storage cabinets
- Theater audio/video equipment access

#### ELECTRICAL ROOM:

- Secured room
- Commercial grade electrical throughout
- Security video system and monitor

#### MECHANICAL ROOM:

- 2 hot water tanks
- 2 electrical furnaces
- 3 outside heat pumps
- Hot tub filter
- Sprinkler system filters
- Re-circulating system
- 1" commercial grade water ingress line
- Commercial multi-line phone system
- All security system and electrical wiring is in-ground

#### LOWER LEVEL HALLWAYS:

- 2-10'x3' CARPETS and hall table

#### THEATER ROOM:

- Wall-to-Wall wool carpeting
- Double French doors of solid wood.
- Acoustic wall paneling inlaid into custom Beechwood millwork.
- Beechwood cabinetry and inset theater screen 100"
- Built in audio and video equipment for surround sound
- Theater lighting
- Hidden panel door leading to hidden theater kitchenette.
- Custom cabinets and countertop
- Separate storage room attached

#### SOUTH FACING DECKS:

- Solid Slate Tiles upper and lower
- Both upper and lower decks have real stone (gas starting) wood burning fireplaces on upper and lower decks. Wood storage unit up and exterior stairs down to lower deck.
- Squamish stone fireplaces
- Gas start, wood burning with wood storage cabinet
- Solid granite fireplace hearths and mantels
- Custom curved architectural steel railings and security gate
- Full vaulted roof over outside living area with large skylight
- 3 gas outlets
- Yard equipment storage room
- Hand made in California custom 10' tiled circular Hot Tub.
- Sound system speakers included.

#### LANDSCAPE ARCHITECT: PAUL SANGHA:

- In-ground landscape lighting on individual timers
- In-ground sprinkler system for watering shrubs
- 10 large concrete planter pots plumbed for auto watering.
- Large driveway entry columns wired for electric gates
- Automatic generator for power outage power replacement
- Architectural Copper gutters, downspouts, fence caps etc.
- 5 custom Copper fireplace cupola's





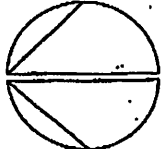
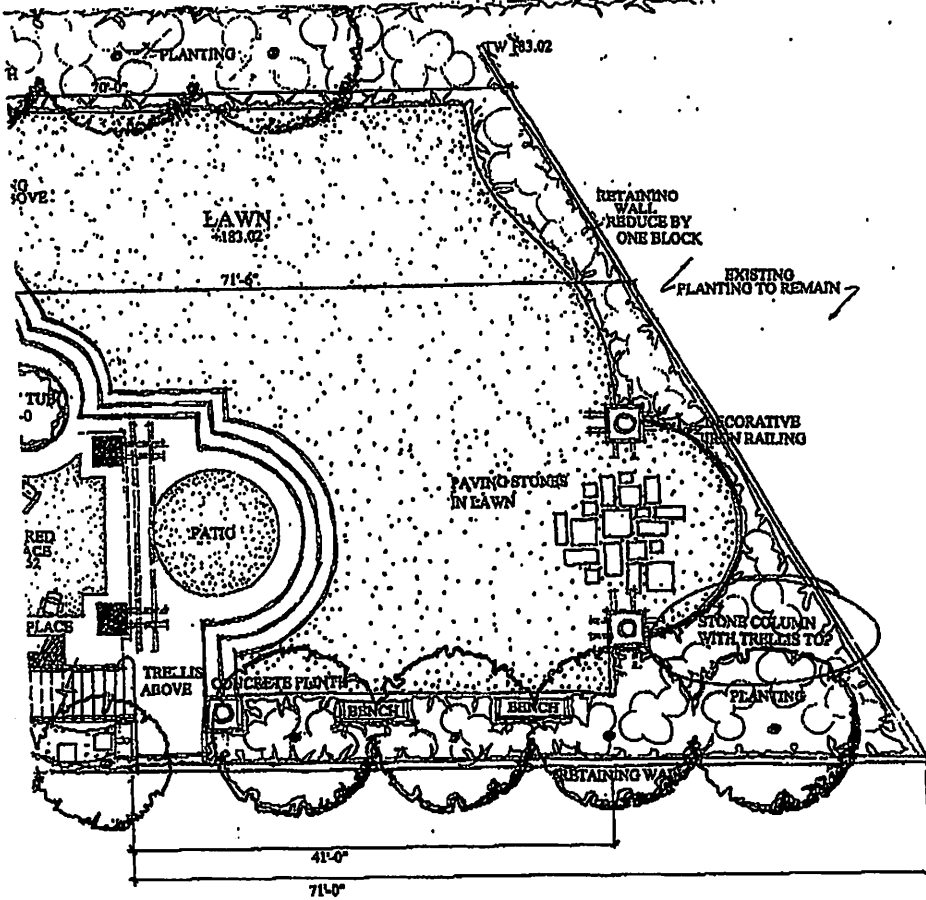


7:41 PM  
07/05/04

**Euro Canadian Construction Corp.**  
**Subtrade List**  
14020 Terry Road  
White Rock, B.C.

<u>Subtrade</u>	<u>Description</u>	<u>Phone</u>	<u>Fax</u>	<u>Street1</u>	<u>City</u>	<u>Province</u>
Aca Copper Specialists 505634 B.C. Ltd.	Metal Gutters & Flashings	604.576.2280	604.576.2280	5840 172nd. Street	Surrey	BC
Artistic Stoneworks	Soft Landscaping	604.468-8505	604.468-8507	3079 Gardner Court	Coquitlam	BC
Atlanta Refrigeration & Conditioning Ltd.	H.V.A.C.	604.327-1168	604.327-5168	P.O. Box 37038 RPO Gordon Park	Vancouver	BC
Baer Woodworking Ltd.	Wood Floors	604.795.2237	604.795.2260	8444-A Aitken Road	Chilliwack	BC
Benetta's Bricklaying Group	Masonry	604.294.2230		5149 Norfolk Street	Burnaby	BC
DPH Plumbing and Heating Ltd.	Plumbing	604.589-8363		15249 93A Avenue	Surrey	BC
Euro Canadian Construction Corp.	Interior Wood Finishes	604.526.7558	604.526.9930	117 1st. Street	New Westminster	BC
	Exterior Wood Finishes					
	Hard Lanscaping					
Exact Drywall Systems Ltd.	Drywall	604.888.4718		20881 Yeomans Crescent	Langley	BC
Fleetwood Ironworks Ltd.	Metal Railings	604.580.8200	604.580.8201	#17 - 13350 116th. Avenue	Surrey	BC
Hycraft Design Custom Woodworks Ltd.	Cabinets	604.521.8121		688 Danwell Way	New Westminster	BC
J&R Excavation & Demolition Ltd.	Excavation & Drainage	604.321.0337	604.321.6018	Bldg. #5 3150 Celtic Avenue	Vancouver	BC
Jim Frith Contracting Ltd.	Electrical	604.583.0440	604.581.6557	10748 Plumtree Close	Surrey	BC
Mega Tile and Marble Ltd.	Ceramic Floors	604.322-9292		1188 West 54th. Avenue	Vancouver	BC
Mike Anderson Furniture Ltd.	Cabinets	604.255.4011		1000 Parker Street	Vancouver	BC
Razor Steel Ltd.	Structural Steel Fabrication	604.574.9141	604.574.9120	#101, 17728 - 66th Avenue	Surrey	BC
S.M. Roofing B.C. Ltd.	Roofing	604.220.9304	604.430.2746	3738 Avondale Street	Burnaby	BC
Vancity Painting & Decorating Ltd.	Painting	604.324.0766		1038 East 39th Avenue	Vancouver	BC
Vancouver Gas Fireplaces	Metal Fireplaces	604.732.3470	604.732.5729	1521 West 8th. Avenue	Vancouver	BC

526 9930 fax



- 02-10-07 REVISIONS: REAR YARD RE DESIGN
- 02-09-10 REVISIONS: HOT TUB LOCATION/  
POOL SIZE AND LOCATION
- 02-09-20 REVISIONS: MATERIALS, ENTRANCE,  
LOWER TERRACE

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 the landscape architect/landscape and cannot be used in any other way without  
 written consent. "I/We" understand that these drawings are not  
 insurance. Contractors shall verify and be responsible for all dimensions  
 and conditions on the job and take all the risk of any variations  
 from the quantities and conditions shown on the drawings.

**PAUL SANGHA LTD.**  
 101 - 2000 WEST 12<sup>TH</sup> AVE., VANCOUVER, BC  
 Tel: (604) 736-2312 Fax: (604) 256-2393

**14020 TERRY ROAD  
 WHITE ROCK, B.C.**

**GARDEN MASTER PLAN**

Date: August 12, 2002  
 Job #: 02-27  
 Scale: 1/8" = 1'-0"

## **K'N'H Engineering**



#401, 19292 - 60 Avenue  
Surrey, British Columbia  
V3S 3M2

Telephone (604) 532-1152  
Fax (604) 532-1153

July 2nd, 2004

Curtis Truss  
5450 Byrne Rd.  
Burnaby, BC  
V5J 3J3

Attn : Mr. Ron Itterman

### **CURTIS TRUSS LTD.**

5450 BYRNE ROAD  
BURNABY, B.C.  
V5J 3J3  
TEL: 436-7877

Re : Euro Construction  
14020 Terry Rd.  
White Rock, BC

This letter is to confirm that an inspection was completed on the roof trusses at the above mentioned location on the 2<sup>nd</sup> of July.

The inspection found that the trusses were manufactured in accordance with the truss drawings which were designed by our firm, and that all bracing hangers, and installation of the trusses was completed satisfactorily.

If you have any questions, please do not hesitate to contact me.

Best Regards,

A handwritten signature in black ink, appearing to be 'James Hum', written over a circular stamp.

James Hum P.Eng.





# QUALITY AUDITING INSTITUTE

2825 Murray Street, Port Moody, B.C. V3H 1X3  
Website Address: [www.qai.org](http://www.qai.org)

Tel: (604) 461-8378 Fax: (604) 461-8377  
E-mail: [info@qai.org](mailto:info@qai.org)

**REPORT OF:** On-Site Roof Inspection  
**AT:** 14020 Terry Road  
White Rock, B.C.  
**DATE:** August 13, 2003  
**REPORT TO:** SM Roofing Ltd  
3738 Avondale Street  
Burnaby, B.C.  
V3G 1N9

## Introduction

As requested we have conducted an inspection on the exterior of the 180 gram SBS modified torch decks and 18 inch Tapersawn Shake roof applied at the above noted address. The inspection was conducted to determine substantial compliance with relevant sections of the B.C. Building Code, CSA 0118.1-97 Standard and the manufacturers installation instructions.

## Torch on Decks

- Two ply SBS modified 180 gram Base with 180 gram Cap Sheet torch welded to plywood decks.

## Tapersawn Shake Roof

- 18 x 5/8 inch Premium Grade Tapersawn Shakes applied to the roof in accordance with B.C. Building Code requirements.

## Conclusion

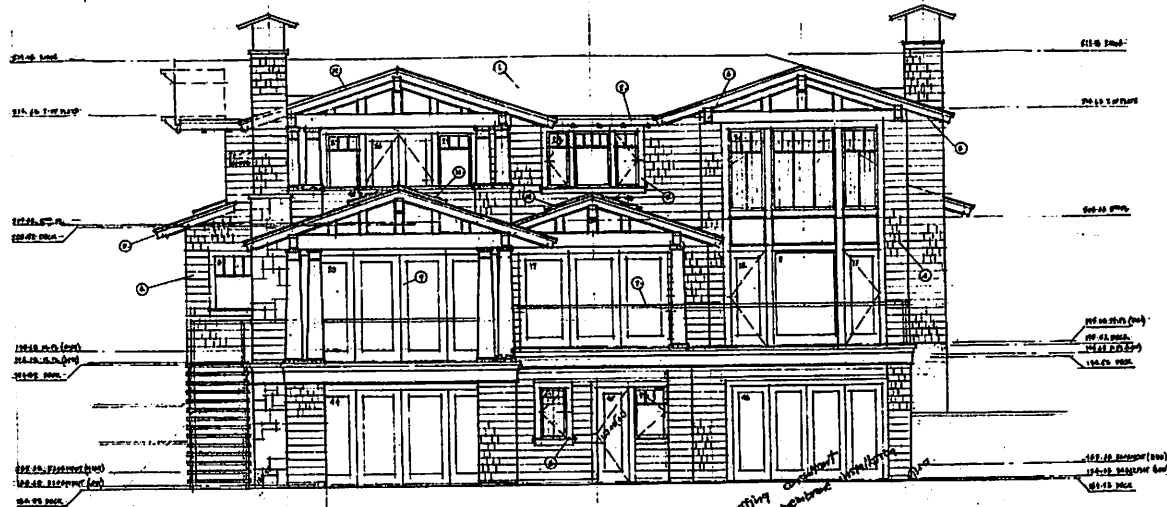
The application of the roof and decks at the above noted address were found to substantially comply with the B.C. Building code, CSA 01 18.1-97 standard and the manufacturers installation instructions.

If you have any questions regarding this report please do not hesitate to call.

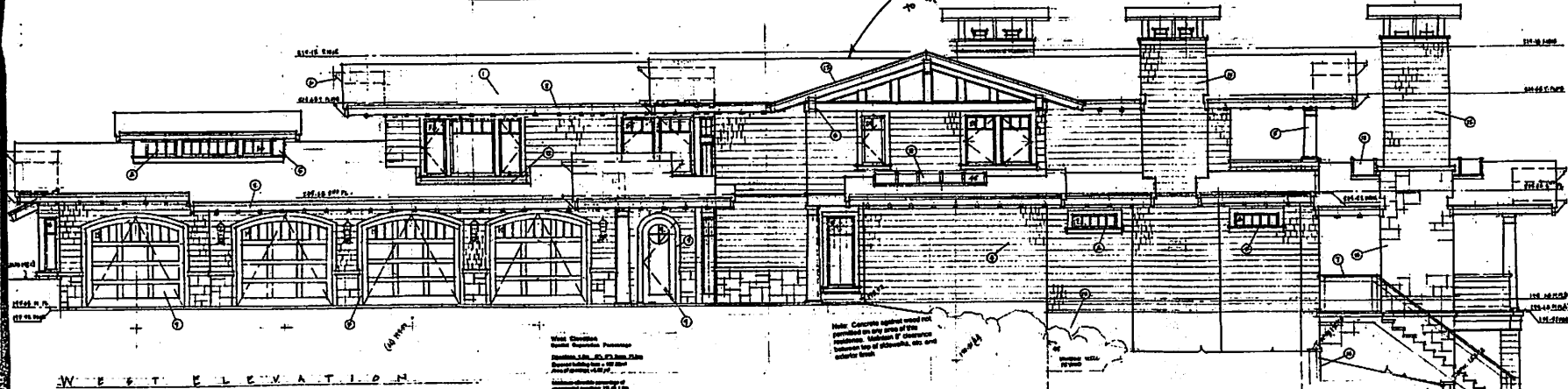
Steven Harris ASeT  
Manager

**MATERIAL LEGEND**

1. ROOF: Gable or other historic reproduction
2. FASCIA: custom
3. GUTTER: custom
4. SIDING: custom
5. SHINGLES: custom
6. WALLS: custom
7. WINDOWS: custom
8. DOORS: custom
9. STAIRS: custom
10. FLOORING: custom
11. CEILING: custom
12. LIGHTING: custom
13. PAINT: custom
14. FINISHES: custom
15. METALS: custom
16. GLASS: custom
17. STONE: custom
18. BRICK: custom
19. TILE: custom
20. PLASTER: custom
21. CONCRETE: custom
22. IRON: custom
23. CUPBOARD: custom
24. COUNTER: custom
25. SINK: custom
26. STOVE: custom
27. REFRIG: custom
28. DISHWASHER: custom
29. RANGE: custom
30. FREEZER: custom
31. REFRIG: custom
32. RANGE: custom
33. DISHWASHER: custom
34. SINK: custom
35. CUPBOARD: custom
36. COUNTER: custom
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94. SINK: custom
95. CUPBOARD: custom
96. COUNTER: custom
97. STOVE: custom
98. REFRIG: custom
99. DISHWASHER: custom
100. SINK: custom



**SOUTH ELEVATION**



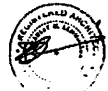
**WEST ELEVATION**

Wall Section  
 Stone Masonry  
 Foundation: 12\"/>

Note: Concrete against wood not permitted in any area of the foundation. Minimum 1\"/>

X decks are habitable spaces to be vented on 3 sides of 2x4 joists with 2\"/>

The owner of these plans shall not be held responsible for any errors or omissions in these plans. The architect shall not be held responsible for any errors or omissions in these plans. The architect shall not be held responsible for any errors or omissions in these plans.



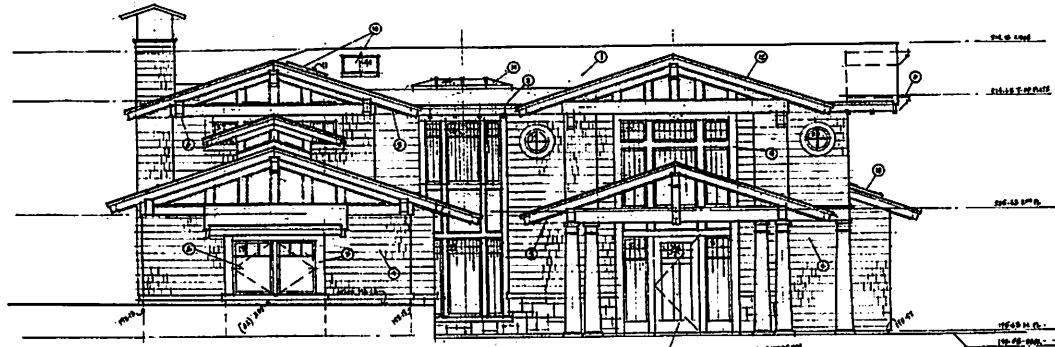
**LAMOUREUX ARCHITECT INCORPORATED**  
 2200 Maple Drive, West Vancouver  
 British Columbia, Canada V7V 1G9  
 Tel: (604) 261-1719 Fax: (604) 261-1770

**MATHEWS RESIDENCE**  
 New Home  
 14220 TERRY ROAD  
 WHITE ROCK B.C.

Scale: 1/4" = 1'-0"  
 Date: 05/27  
 Drawing No: 0027  
 Revision: A.7

**MATERIAL LEGEND**

1. ROOF
2. Double-pane Masonry Red brick exterior
3. Clay tile roof
4. Cement plaster
5. 1/2" T&G Siding (Hardwood Siding)
6. SILLING
7. Windows for Color Siding
8. 7' Square Tower
9. Aluminum Casement PV 217 P. 6th. No. 100 Standard
10. Siding
11. TRIM
12. CROWN MOULDING - 6" wide
13. Flat plaster door casing
14. SILLING and FINISHES
15. WINDOW CASING
16. CORNER CASING
17. SILLING
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**NORTH ELEVATION**

Sheet: 0027  
 Project: 0027  
 Date: 10/20/2010  
 Scale: 1/8" = 1'-0"  
 Drawing No.: A.8  
 Project Name: MATHEWS RESIDENCE  
 Address: 10020 TERRY ROAD, WHITE ROCK B.C.  
 Architect: LAMOUREUX ARCHITECT INCORPORATED  
 2502 HURON COURT, VANCOUVER, B.C. V6N 1M6  
 Phone: (604) 271-1111  
 Fax: (604) 271-1112  
 Email: info@lamoureux.com

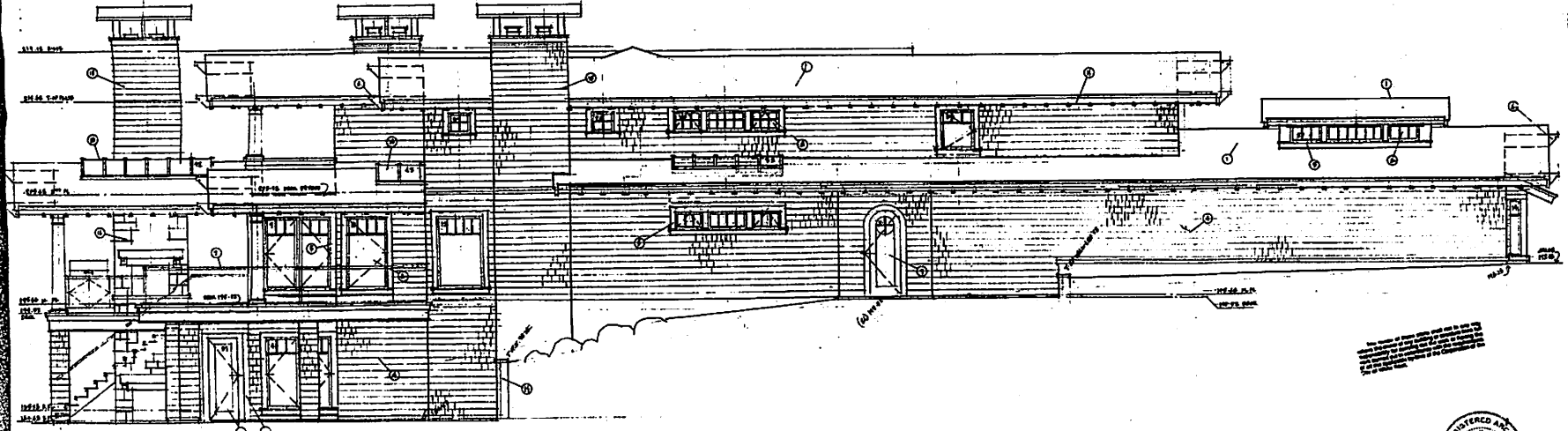
**LAMOUREUX ARCHITECT INCORPORATED**

2502 Huron Court, Vancouver, B.C. V6N 1M6  
 Phone: (604) 271-1111  
 Fax: (604) 271-1112  
 Email: info@lamoureux.com

**MATHEWS RESIDENCE**  
 New Home  
 10020 TERRY ROAD  
 WHITE ROCK B.C.

Sheet: 0027  
 Project: 0027  
 Date: 10/20/2010  
 Scale: 1/8" = 1'-0"  
 Drawing No.: A.8

**East Elevation**  
**North Elevation**



**EAST ELEVATION**





DATE: \_\_\_\_\_ REV: \_\_\_\_\_

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**LAMOUREUX**  
ARCHITECT  
INCORPORATED

2002 Morris Drive, West Vancouver  
British Columbia, Canada, V7V 1G6  
PH: (604) 291-5111 Fax: (604) 291-5110

PROJECT  
**MATHEWS RESIDENCE**  
New Home  
14020 TERRY ROAD  
WHITE ROCK B.C.

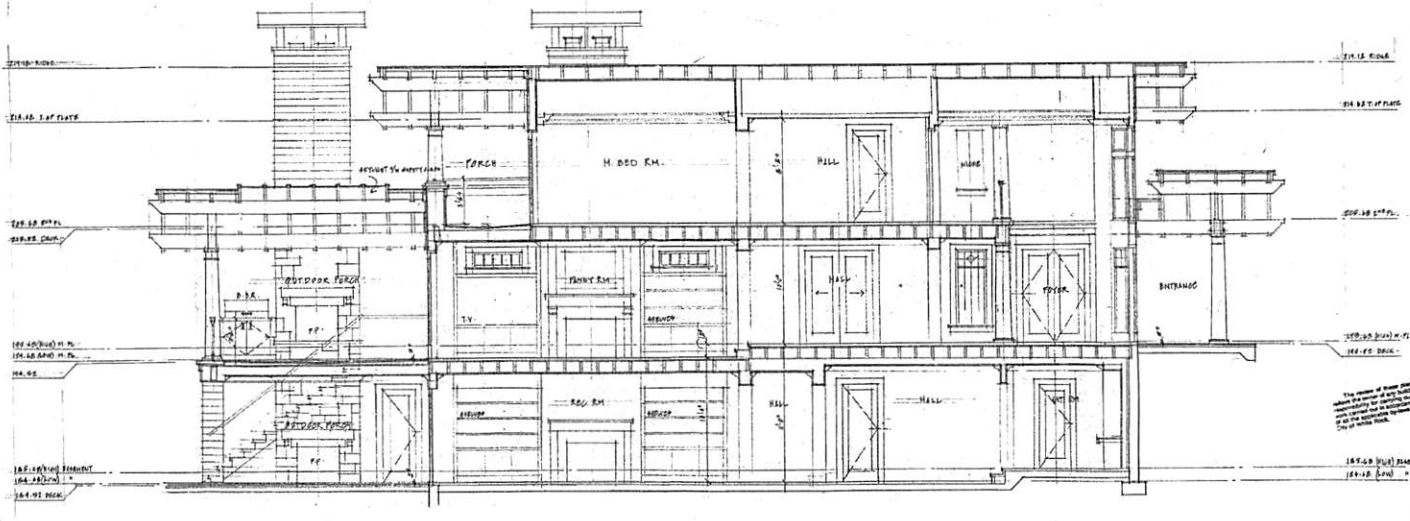
DATE: \_\_\_\_\_ DRAWN: \_\_\_\_\_  
DATE: \_\_\_\_\_ DRAWN: \_\_\_\_\_  
SCALE: 1/4" = 1'-0" CHECKED BY: B.L.  
DRAWING TITLE: Building Sections

PROJECT NO. 0007 DRAWING NO. **A.9**

DOOR SCHEDULE - MATHEWS RESIDENCE						
NO.	DESCRIPTION	SIZE	TYPE	FINISH	NOTES	MIN. CLEARANCE
1	Living Room	3'0" x 7'0"	A	1	Painted wood door	
2	Living Room	3'0" x 7'0"	A	1	Painted wood door	
3	Living Room	3'0" x 7'0"	A	1	Painted wood door	
4	Living Room	3'0" x 7'0"	A	1	Painted wood door	
5	Living Room	3'0" x 7'0"	A	1	Painted wood door	
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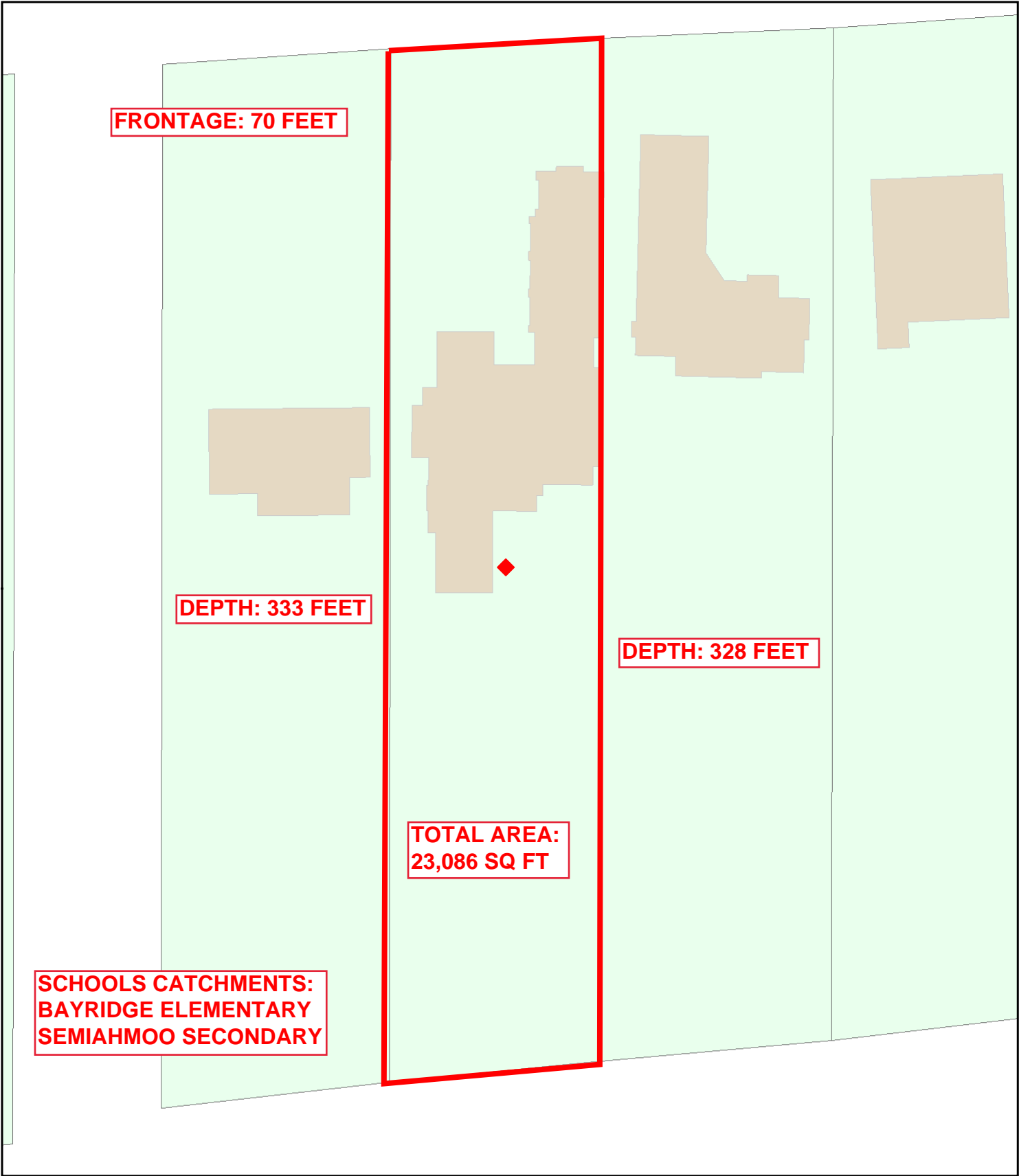
4 - MATS - LOOK TO JAMES TAYLOR FOR SPEC. SEE 10.85-86-87-88-89-90-91-92-93-94-95-96-97-98-99-100



1/4" = 1'-0" BUILDING SECTION A-A







14020 Terry Road

The data provided is compiled from various sources and is NOT warranted as to its accuracy or sufficiency by the City of Surrey. This information is provided for information and convenience purposes only. Lot sizes, legal descriptions and encumbrances must be confirmed at the Land Title Office. Use and distribution of this map is subject to all copyright and disclaimer notices at [cosmos.surrey.ca](http://cosmos.surrey.ca)



Scale: 1:500

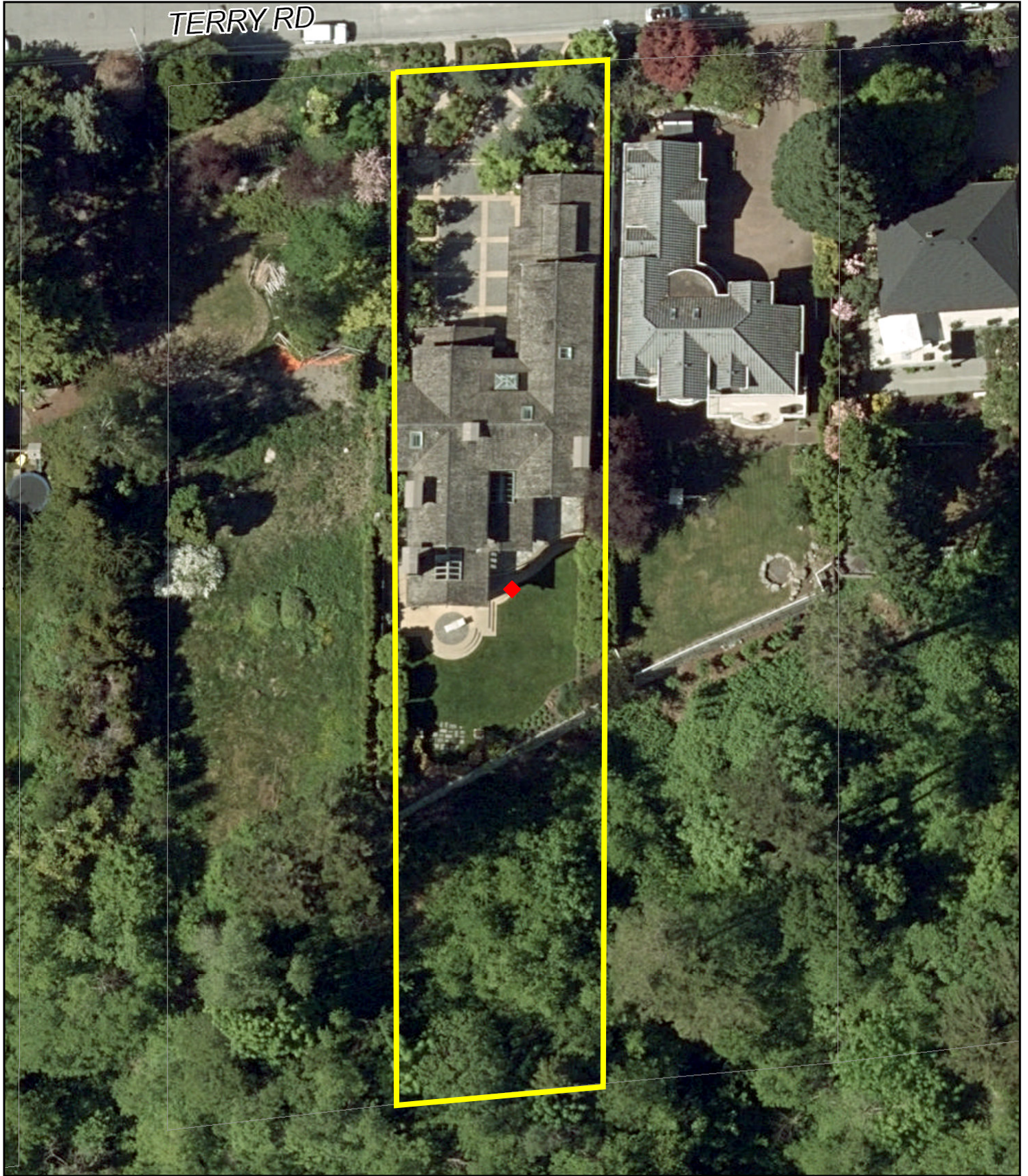
Map created on: 2018-06-01





W R O M S

# City of White Rock Mapping Online System



14020 Terry Road

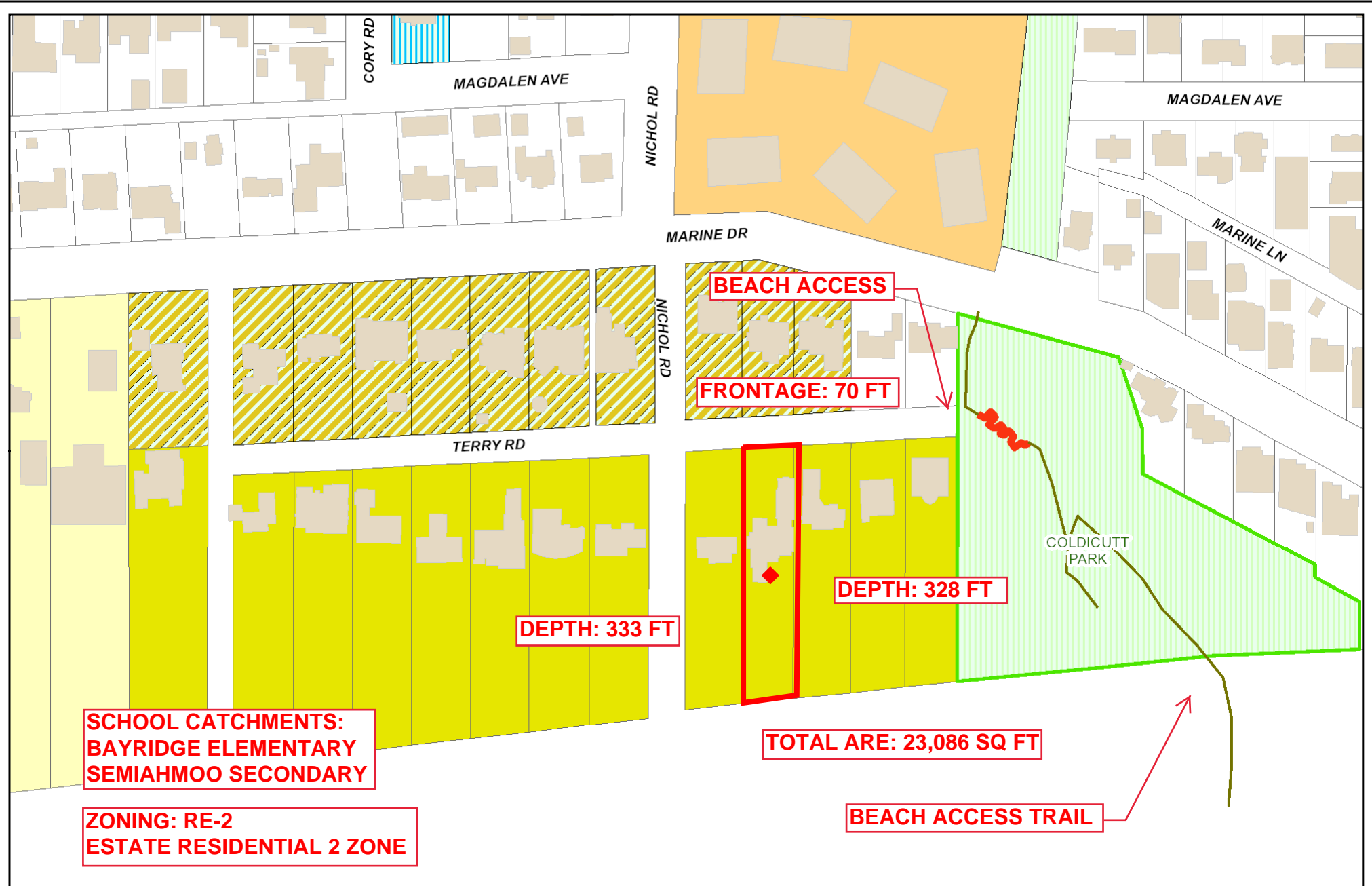
The data provided is compiled from various sources and is NOT warranted as to its accuracy or sufficiency by the City of Surrey. This information is provided for information and convenience purposes only. Lot sizes, legal descriptions and encumbrances must be confirmed at the Land Title Office. Use and distribution of this map is subject to all copyright and disclaimer notices at [cosmos.surrey.ca](http://cosmos.surrey.ca)



Scale: 1:500

Map created on: 2018-06-01





14020 Terry Road

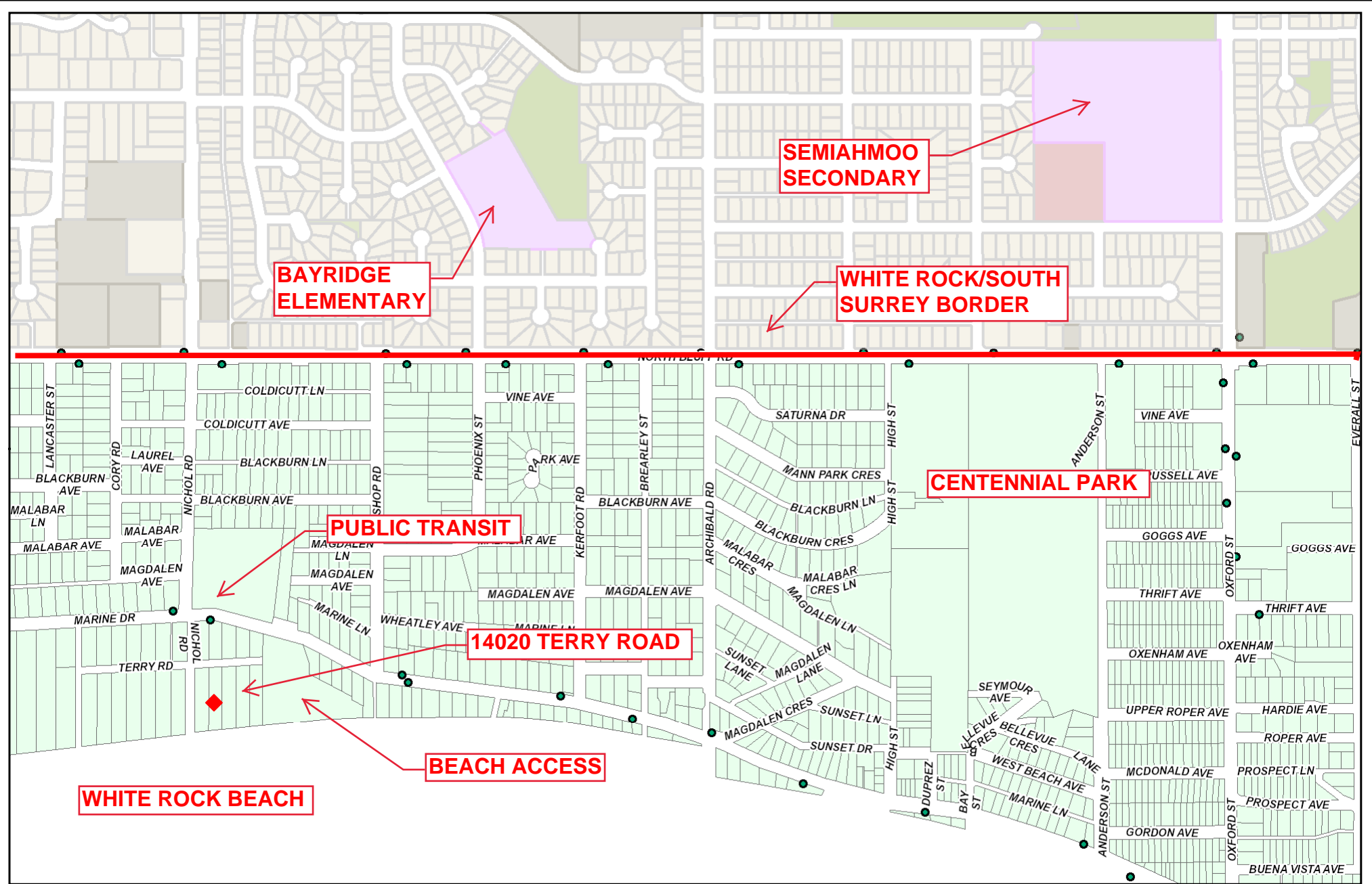
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Scale: 1:2,000



Map created on: 2018-06-02





### 14020 Terry Road

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Scale: 1:8,000



Map created on: 2018-06-01



# Centennial & Ruth Johnson Park



## LEGEND

-  Trails
-  Stairs
-  Streams
-  Ruth Johnson Park
-  Centennial Park
-  Baseball Diamond
-  Butterfly Garden
-  Tennis Courts
-  Lacrosse Box
-  Soccer Field
-  Mann Park Lawn Bowling
-  Off-Leash Dog Park
-  Community Garden
-  Horseshoe Pit







## PARK INFORMATION

- Park Hours: Dawn to Dusk
- Pay Parking is in effect 24/7
- 14600 North Bluff Rd., White Rock  
Phone: (604) 541-2161

North Bluff Rd. / 16th Ave.



# Legend

-  City Limits
-  Walkways
-  Heritage Marker
-  Parks
-  Streets
-  Trails



★ map is not to scale

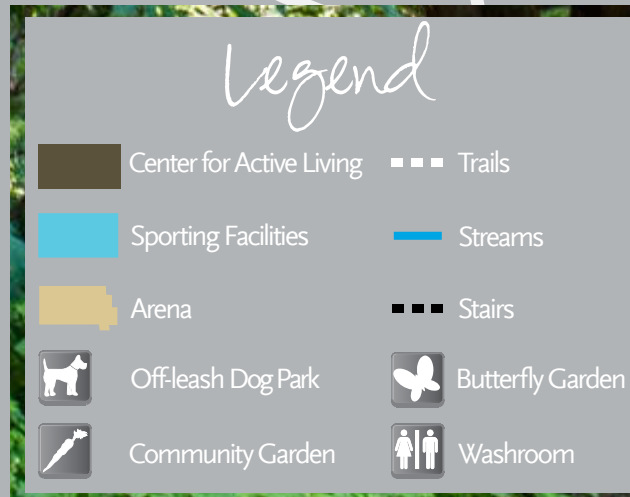
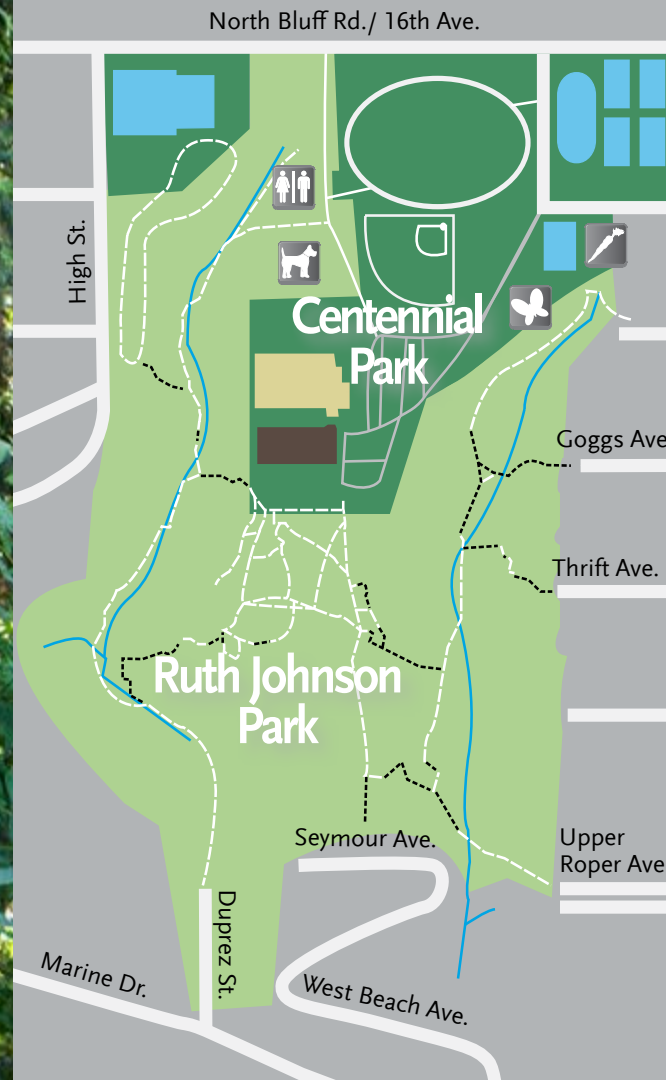
**WHITE ROCK**  
Our City by the Sea!



# City Parks

All parks are open from dawn to dusk

- 1 **Barge Park**  
13689 Malabar Avenue
- 2 **Bayview Park**  
14586 Marine Drive
- 3 **Bryant Park**  
15150 Russell Avenue
- 4 **Centennial/Ruth Johnson Park**  
14600 North Bluff Road
- 5 **Coldicutt Park**  
14064 Marine Drive
- 6 **Davey Park**  
1131 Finlay Street
- 7 **Dr. R.J. Allan Hogg Rotary Park**  
15479 Buena Vista Avenue
- 8 **Emerson Park**  
15707/15725 Columbia Avenue
- 9 **Gage Park**  
15100 Columbia Avenue
- 10 **Goggs Park**  
15497 Goggs Avenue
- 11 **Hodgson Park**  
15050 North Bluff Road
- 12 **Maccaud Park**  
1475 Kent Street
- 13 **Memorial Park**  
15300 Block Marine Drive
- 14 **Stager Park**  
15200 Columbia Avenue
- 15 **Totem Park**  
15400 Block Marine Drive



# City of White Rock Map

PARKS AND TRAILS

## WHITE ROCK BEACHES

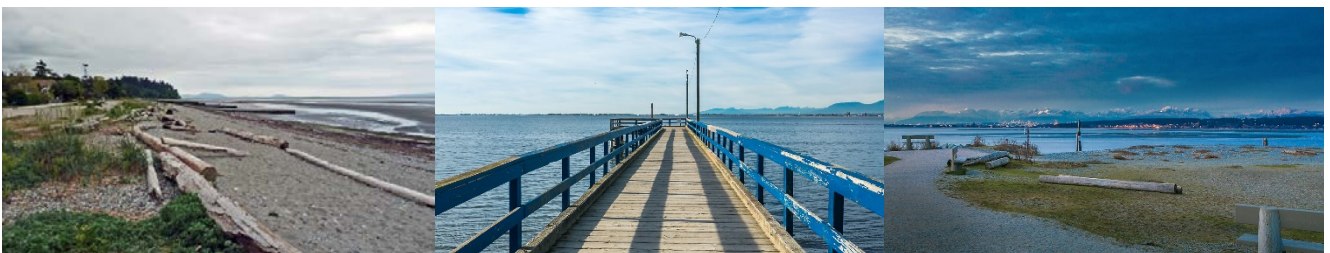
**White Rock Beach** is located just two miles north of the US border and only 35 minutes south of the City of Vancouver, BC. White Rock is known for its sandy beaches, stunning sunsets and fair weather. The 1,500 ft. long White Rock pier is a favorite destination spot for tourists and residents, and the 2.5km long beach promenade promises strollers a refreshing walk and connects west beach and east beach at the ocean's side. West Beach is the hip and trendy Laguna Beach of the lower mainland, with ocean view bistros, fine restaurants, live music waterfront musicians, artists and fabulous shopping that extend along Marine Drive.



**East Beach** is the closest White Rock Beach to the US border with both the Semiahmoo Park and Reserve as its neighbors. East Beach is the quieter side of White Rock and has a familial ambiance that appeals to the young and old alike. You may enjoy fish & chips on the beach, visit Marine Drive shops and galleries or dine in at one of many White Rock restaurants.



**Crescent Beach** in nearby South Surrey, is located at the end of Crescent Road near the northern end of Semiahmoo Bay and the mouth of the Nicomekl River'. This beach has a more rustic, natural feel with a graveled seaside promenade, quaint ocean side homes, and a variety of bistros that will please most every palate. **Crescent Rock Naturist Beach** is just South of Crescent Beach. You walk past the 101 steps metal staircase (West end of 24th Ave) until you get to the Crescent Rock Boulder. It's like the White Rock, but a little smaller, only 120 tonnes! Just past this point and for the next 200m is Crescent Rock Naturist Beach.



**SOUTH SURREY/WHITE ROCK SCHOOL RANKINGS 2016/2017**

	<b>Elementary Schools</b>	<b>Public/Private</b>	<b>2016/17 Ranking</b>	<b>Ranking in the Most Recent 5 Yrs.</b>	<b>Overall Rating</b>
1	Semiahmoo Trail Elementary	Public	193/946	101/811	7.9/10
2	Morgan Elementary	Public	229/946	106/811	7.8/10
3	Chantrell Park Elementary	Public	193/946	106/811	7.8/10
4	Rosemary Heights Elementary	Public	256/946	117/811	7.7/10
5	Bayridge Elementary	Public	132/946	117/811	7.7/10
6	Crescent Park Elementary	Public	240/946	161/811	7.3/10
7	Ocean Cliff Elementary	Public	215/946	187/811	7.1/10
8	Laronde Elementary	Public	271/946	187/811	7.1/10
9	Ray Shepherd Elementary	Public	315/946	265/811	6.7/10
10	South Meridian Elementary	Public	361/946	319/811	6.4/10
11	Peace Arch Elementary	Public	640/946	319/811	6.4/10
12	Sunnyside Elementary	Public	382/946	342/811	6.3/10
13	White Rock Elementary	Public	663/946	360/811	6.2/10
14	H.T. Thrift Elementary	Public	538/946	428/811	5.9/10
15	Pacific Heights Elementary	Public	432/946	456/811	5.8/10
16	Jessie Lee Elementary	Public	335/946	471/811	5.7/10
	<b>Private Schools</b>		<b>2016/17 Ranking</b>		
1	Southridge	Private	1/946	1/811	10.0/10
2	Star of the Sea	Private	44/946	24/811	9.4/10
3	White Rock Christian	Private	64/946	161/811	7.3/10
	<b>Secondary Schools</b>		<b>2016/17 Ranking</b>		
1	Elgin Park Secondary	Public	57/253	42/246	7.4/10
2	Semiahmoo Secondary	Public	37/253	34/246	6.9/10
3	Earl Marriott Secondary	Public	52/253	87/246	6.6/10

# Out of Catchment Registration

## Out of catchment registration

As a growing district, enrolment at some district schools is already at, or over capacity. No waiting list can be maintained at the following schools at this time. Please see the school district's [regulations](#) for more details on how the allocation process works. **The following schools are unable to accept out-of-catchment registrations (except siblings of current students):**

### Elementary Schools

A.H.P. Matthew Elementary  
A.J. McLellan Elementary  
Adams Road Elementary  
**Bayridge Elementary**  
Cambridge Elementary  
Chimney Hill Elementary  
Clayton Elementary  
Coast Meridian Elementary  
Coyote Creek Elementary  
Erma Stephenson Elementary  
Fraser Wood Elementary  
Frost Road Elementary  
George Greenaway Elementary  
Goldstone Park Elementary  
**H.T. Thrift Elementary**  
**Hall's Prairie Elementary**  
Hazelgrove Elementary  
Hillcrest Elementary  
Hyland Elementary  
K.B. Woodward Elementary

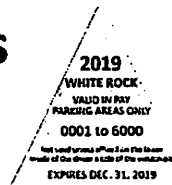
### Elementary Schools cont'd

Katzie Elementary  
Latimer Road Elementary  
**Morgan Elementary**  
North Ridge Elementary  
**Ocean Cliff Elementary**  
Old Yale Road Elementary  
Pacific Heights Elementary  
Panorama Park Elementary  
**Rosemary Heights Elementary**  
**Semiahmoo Trail Elementary**  
Simon Cunningham Elementary  
Sullivan Elementary  
**Sunnyside Elementary**  
Sunrise Ridge Elementary  
Surrey Centre Elementary  
T.E. Scott Elementary  
Walnut Road Elementary  
**White Rock Elementary**  
William Watson Elementary  
Woodward Hill Elementary

### Secondary Schools

Fleetwood Park Secondary  
Panorama Ridge Secondary  
**Semiahmoo Secondary**  
Sullivan Heights Secondary





### VALID PAY PARKING DECAL AREAS:

- City's Pay Parking Areas only for up to four (4) hours per day.
  - Marine Drive/Waterfront and Centennial Park pay parking in lots and on street.
  - Hospital pay parking on street.

### RESTRICTED AREAS:

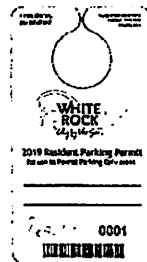
- Not entitled to park on streets posted as **Permit Parking Only**.
- Not valid in the Peace Arch Hospital's private parking lots.
- Not valid in the City of Surrey's pay parking stalls on the south side of Marine Drive between Finlay St & Stayte Rd
- Not valid at the **Limited Time Parking** meters at the Arena, posted as ½ hr short term.
- Not valid in any **Private Pay Parking Lots** located throughout the City.

### NOTE:

- **THE DECAL EXPIRES ANNUALLY ON DECEMBER 31.** Please purchase your next year's Decal before December 31. The next year's Decals are available for sale starting in November every year.
- Relocating your vehicle to another location does not entitle you to additional free use (maximum 4 hrs per day).
- If you change vehicles and keep the same licence plates, the decal may be transferred to the new vehicle. If you change licence plates you **MUST** register your new plates to match the decal in the Finance Department at City Hall

### THE DECAL MUST:

- Be **Permanently Affixed** on the lower inside, bottom left of your windshield (**driver's side**).
- Decals are non-refundable and are not to be tampered with, i.e. trimmed.



### VALID AREAS:

- City's Resident Permit Parking Areas only.

### TERMS & CONDITIONS:

- Hang Permit on rear view mirror, address side facing out, to avoid being ticketed.
- Permit only valid on the block printed on front of the Permit and the next adjacent block.
- Vehicle not displaying permit will be ticketed or possibly towed at owner's expense.
- Permit may not be duplicated in any manner.
- Not valid in Pay Parking or Time Limited Parking areas.

### NOTE:

- **THE PERMIT EXPIRES ANNUALLY ON DECEMBER 31.** Please purchase your next year's Permit before December 31. The next year's Permits are available for sale starting in November every year.
- Temporary one-day permits for special events can be acquired from the Finance Department at City Hall.

### LOST PERMITS:

- Each year, up to four replacement permits can be purchased from the Finance Department at City hall.
- You will be required to inform the Finance Department of which serial numbers you have remaining in your possession before a replacement permit can be purchased (this is to ensure that the lost permit serial number can be recorded).
- Serial numbers of lost permits will be recorded and any vehicle found displaying the lost permit will be ticketed.